



DECISION MADE BY THE DIRECTOR OF SUSTAINABLE COMMUNITIES

Application No	:	20/00066/CUPAQ Change of use Prior Approval - Class Q
Location	:	Barn North Of Bury Farm Bury Road Pleshey Chelmsford
Proposal	:	Determination as to whether the prior approval of the local planning authority is required for proposed change of use of Agricultural Building to 3 dwellinghouses (Class C3).
Applicant	:	
Agent	:	P A Scott Associates
Date Valid	:	21st January 2020
Development Type	:	Agricultural buildings to C3 dwellings (D92D)
Drawing No(s)	:	PS 3213.3/A; PS 3213.2/A; Block Plan; 1:1250 Site Location Plan;
Target Date	:	14th March 2020
Consult Expiry	:	6th March 2020

Description of the site

- Barn on the north side of Bury Road
- Steel frames with curved roof
- Clad with metal sheeting and weatherboarding
- Concrete floor slab
- Two openings on the western elevation
- Hardstanding to the west
- Vehicle access from Bury Road
- Public footpath to the west

Other relevant applications

- 18/00297/CUPAQ - Prior Approval Required 5th April 2018
Determination as to whether the prior approval of the local planning authority is required for a proposed change of use of agricultural building to two dwellinghouses (class C3).
- 19/01718/CUPAQ - Application Withdrawn 5th December 2019
Determination as to whether the Prior Approval of the local planning authority is required for the proposed change of use of Agricultural Building to 3 Dwelling Houses (Class C3).

Consultations

The following were consulted as part of the application:

- Essex County Council Highways

From a highway and transportation perspective the impact of the proposal is acceptable to the Highway Authority subject to the imposition of appropriate conditions.

- Public Health & Protection Services

Please put on a DO4 condition due to potential contamination from previous agricultural uses (i.e. pesticides, fuel).

This residential development should provide EV charging point infrastructure to encourage the use of ultra-low emission vehicles at the rate of 1 charging point per unit (for a dwelling with dedicated off-road parking) and/or 1 charging point per 10 spaces (where off-road parking is unallocated).

- Pleshey Parish Council

The Parish Council is supportive of 3 smaller dwellings but is concerned that a public footpath - no.5 is not shown.

- Local residents

No representations received.

Assessment

Class Q of Schedule 2, Article 3 of the Town and Country Planning (General Permitted Development) Order 2015 states that permitted development is development consisting of –

- a. a change of use of a building and any land within its curtilage from a use as an agricultural building to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order; or
- b. development referred to in paragraph (a) together with building operations reasonably necessary to convert the building referred to in paragraph (a) to a use falling within Class C3 (dwellinghouses) of that Schedule.

Paragraph W(3) of Part 3 of the GPDO 2015 states that the local planning authority may refuse an application where in the opinion of the authority-

- (a) The proposed development does not comply with, or
- (b) The developer has provided insufficient information to enable the authority to establish whether the proposed development complies with, any conditions, limitation or restrictions specified in this Part as being applicable to the development in question.

Q.1 Development is not permitted by Class Q if—

(a) the site was not used solely for an agricultural use as part of an established agricultural unit—

- (i) on 20th March 2013, or**
- (ii) in the case of a building which was in use before that date but was not in use on that date, when it was last in use, or**
- (iii) in the case of a site which was brought into use after 20th March 2013, for a period of at least 10 years before the date development under Class Q begins;**

Comment:

The application building was previously the subject of another prior approval application under Class Q in 2018. During the consideration of that application the Council was content that the building had been used for agricultural storage since 1955 and complies with the above criteria. As the prescribed date for compliance with Class Q is 20th March 2013, compliance with this criterion will not have changed since 2018.

(b) in the case of—

WEB

- (i) a larger dwellinghouse, within an established agricultural unit—**
 - (aa) the cumulative number of separate larger dwellinghouses developed under Class Q exceeds 3; or**
 - (bb) the cumulative floor space of the existing building or buildings changing use to a larger dwellinghouse or dwellinghouses under Class Q exceeds 465 square metres;**

Comment:

Two larger dwellinghouses would be developed as part of this application. The combined floor space of the existing building changing use to larger dwellinghouses would not exceed 465 sqm. No other dwellinghouses have been created under Class Q within the agricultural unit.

- (ba) the floor space of any dwellinghouse developed under Class Q having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 465 square metres;**

Comment:

None of the three proposed dwellings would have a floor space exceeding 465 sqm.

- (c) in the case of—**

- (i) a smaller dwellinghouse, within an established agricultural unit—**
 - (aa) the cumulative number of separate smaller dwellinghouses developed under Class Q exceeds 5; or**
 - (bb) the floor space of any one separate smaller dwellinghouse having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 100 square metres;**

Comment:

Only one smaller dwellinghouse would be developed as part of this application and it would have a floor space not exceeding 100 sqm.

- (d) the development under Class Q (together with any previous development under Class Q) within an established agricultural unit would result in either or both of the following—**

- (i) a larger dwellinghouse or larger dwellinghouses having more than 465 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order;**
- (ii) the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeding 5;**

Comment:

The proposal would not result in the larger dwellinghouses having more than 465 sqm of floor space. No other dwellinghouses have been created under Class Q within the agricultural unit and the cumulative number would not exceed 5.

- (e) the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained;**

Comment:

The application form indicates that the site is not occupied under an agricultural tenancy.

- (f) less than 1 year before the date development begins—**

- (i) an agricultural tenancy over the site has been terminated, and**

(ii) the termination was for the purpose of carrying out development under Class Q, unless both the landlord and the tenant have agreed in writing that the site is no longer required for agricultural use;

Comment:

The application form indicates that an agricultural tenancy has not been terminated in the year before the date development begins.

(g) development under Class A(a) or Class B(a) of Part 6 of this Schedule (agricultural buildings and operations) has been carried out on the established agricultural unit—

(i) since 20th March 2013; or

(ii) where development under Class Q begins after 20th March 2023, during the period which is 10 years before the date development under Class Q begins;

Comment:

No development under Class A(a) or Class B(a) of Part 6 has been carried out since 20 March 2013.

(h) the development would result in the external dimensions of the building extending beyond the external dimensions of the existing building at any given point;

Comment:

The submitted plans indicate that the external dimensions of the proposal would not be greater than those of the existing building.

(i) the development under Class Q(b) would consist of building operations other than—

(i) the installation or replacement of—

(aa) windows, doors, roofs, or exterior walls, or

(bb) water, drainage, electricity, gas or other services,

to the extent reasonably necessary for the building to function as a dwellinghouse; and

(ii) partial demolition to the extent reasonably necessary to carry out building operations allowed by paragraph Q.1(i)(i);

Comment:

A structural report, and an addendum to this, have been submitted which indicate that the foundations and ground floor slab area of substantial and are more than adequate to accommodate the proposed conversion. This addresses the concerns raised in the previous application where the structural report was not as clear in its findings.

The supporting information indicates that the timber boarding to the elevations would be retained while the sheeting above and the roof material would be replaced. It is considered that the extent of existing material to be retained would result in the proposed development comprising a conversion rather than a rebuild.

The proposed works fall within the list of building operations which are permitted by Q.1(i) and do not go beyond what is reasonably necessary

(j) the site is on article 2(3) land;

Comment:

The site is not on article 2(3) land.

(k) the site is, or forms part of—

WEB

- (i) a site of special scientific interest;**
- (ii) a safety hazard area;**
- (iii) a military explosives storage area;**

Comment:

The site is not and does not form part of a site of special scientific interest, a safety hazard area or a military explosives storage area.

(l) the site is, or contains, a scheduled monument; or

Comment:

The site is not and does not contain a scheduled monument.

(m) the building is a listed building.

Comment:

The building is not listed.

Q.2 Conditions

(a) transport and highways impacts of the development

The Highway Authority has not raised any objection to the proposal, in terms of highway safety. The proposed development would be acceptable in terms of its transport and highways impacts subject to the imposition of appropriate conditions.

(b) noise impacts of the development

The existing uses in the vicinity of the site are residential or agricultural. The proposed development would have a comparable relationship to agricultural uses as other residential properties in the countryside in respect of noise impacts. Prior approval of the Local Planning Authority is not required on this issue.

(c) contamination risks

Public Health & Protection Services have requested that a condition regarding contamination is imposed on any approval. Prior approval of the Local Planning Authority is required on this issue.

(d) flooding risks

The site is within Flood Zone 1 (lowest risk). The Environment Agency do not need to be notified in this circumstance. Prior approval of the Local Planning Authority is not required on this issue.

(e) whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order.

The site is located opposite Bury Farm with residential and agricultural buildings. There are no close neighbours on the same side of Bury Road and it is neither impractical or undesirable for the buildings to change from agricultural use in respect of condition (e).

(f) the design or external appearance of the building

The design and external appearance of the building is considered to be acceptable.

Interpretation of Part 3

X. For the purpose of Part 3 “curtilage” means for the purposes of Class Q:

*“(a) the piece of land, whether enclosed or unenclosed, immediately beside or around the agricultural building, closely associated with and serving the purposes of the agricultural building, or,
(b) an area of land immediately beside or around the agricultural building no larger than the land area occupied by the agricultural building, whichever is the lesser;”*

Comment:

Complies. The red line drawing includes an area of approximately 562.4m². The footprint of the building amounts to 284.2m², the area of curtilage therefore would not exceed the land area occupied by the buildings and would comply with paragraph X.

Habitat Regulations

Local Planning Authorities have a duty under the Habitats Regulations to ensure that planning decisions comply with Habitat Regulations. If the requirements of the Habitats Regulations are not met and impacts on Habitats sites are not mitigated, then development must not be commenced.

The proposal site falls within a ‘zone of influence’ identified by Natural England for likely significant effects to occur to a European designated site. Those likely significant effects will occur through increased recreational pressure when considered either alone or in combination with other residential development. Subject to the applicant making a payment of £122.30 per dwelling towards the Council’s RAM mitigation scheme, or undertaking their own mitigation scheme, prior to the commencement of the development, then the impacts of the development will be mitigated against.

Community Infrastructure Levy (CIL)

This application may be CIL liable and there may be a CIL charge payable.

RECOMMENDATION

Prior Approval is required.

Condition 1

The development must be completed within a period of 3 years starting with the date of this decision.

Reason:

In order to comply with Class Q2(3) of Schedule 2, Part 3 of the Town and Country Planning (General Permitted Development) Order 2015 (as amended).

Condition 2

The development hereby permitted shall be carried out in accordance with the approved plans and conditions listed on this decision notice.

Reason:

In order to achieve satisfactory development of the site

Condition 3

a) No development shall take place until a scheme to assess and deal with any contamination of the site has been submitted to and approved in writing by the local planning authority.

b) Prior to the occupation or first use of the development, any remediation of the site found necessary shall be carried out, and a validation report to that effect submitted to the local planning authority for written approval and the development shall be carried out in accordance with that scheme.

Reason:

This information is required prior to the commencement of the development because this is the only opportunity for contamination to be accurately assessed. This is to ensure the development does not give rise to problems of pollution or contamination in accordance with Policies DC26 and DC29 of the adopted Core Strategy and Development Control Policies Development Plan Document.

Condition 4

No unbound material shall be used in the surface treatment of the vehicular access hereby permitted within 6 metres of the highway boundary.

Reason:

To avoid displacement of loose material onto the highway in the interests of highway safety.

Condition 5

There shall be no discharge of surface water from the development site onto the Highway.

Reason:

To prevent hazards caused by water flowing onto the highway and to avoid the formation of ice on the highway in the interest of highway safety.

Condition 6

Prior to first occupation of the development the vehicular access shall be re-constructed at right angles to the highway boundary and to the existing carriageway. The width of the access at its junction with the highway shall not be less than 5.5 metres and shall be provided with an appropriate vehicular crossing of the highway verge.

Reason: To ensure that vehicles can enter and leave the highway in a controlled manner in the interest of highway safety.

Notes to Applicant

1 In order to cause minimum nuisance to neighbours, the applicant is strongly advised to follow guidelines for acceptable working hours set out by the Council's Public Health and Protection team.

Noisy work

- Can be carried out between 0800 and 1800 Monday to Friday
- Limited to 0800-1300 on Saturdays
- At all other times including Sundays and Bank Holidays, no work should be carried out that is audible beyond the boundary of the site

Light work

- Acceptable outside the hours shown above
- Can be carried out between 0700 and 0800; and 1800-1900 Monday to Friday

WEB

In some circumstance further restrictions may be necessary.

For more information, please contact Chelmsford City Council Public Health and Protection Services, or view the Council's website at www.chelmsford.gov.uk/construction-site-noise

2 The proposed development may be liable for a charge under the Community Infrastructure Levy Regulations 2010 (as Amended). There are further details on the Council's website at www.chelmsford.gov.uk/cil.

Prior to the commencement of development you must submit a CIL Form 5 : Notice of Chargeable Development to the Council a Commencement Notice (CIL Form 6) and if applicable also Form 7 Self Build exemption Claim Form Part 1 or Form 9 Self Build Extension Exemption Claim Form, if you have not done so already.

If your proposal is CIL liable, failure to submit the relevant forms may result in you forfeiting the right to pay the CIL charge in instalments. A Liability Notice will be sent as soon as possible to the applicant/owner and any other person who has an interest in the land. This contains details of the chargeable amount and how to claim exemption or relief if appropriate.

3 This permission is subject to conditions, which require details to be submitted and approved by the local planning authority. Please note that applications to discharge planning conditions can take up to eight weeks to determine.

4 This planning permission is subject to planning condition(s) that need to be formally discharged by the Council. Applications to discharge planning conditions need to be made in writing to the local planning authority. Forms and information about fees are available on the Council's website.

5 Please note that prior to the commencement of development, mitigation for increased recreational pressure to a European designated site must be secured either through a financial contribution towards the Essex Coast Recreational Disturbance Avoidance and Mitigation Strategy (RAMS) or through your own scheme of mitigation. Further information is available at: <https://www.chelmsford.gov.uk/planning-and-building-control/essex-coast-rams/> where an online payment can also be made if required.

Background Papers

Case File

Town and Country Planning (General Permitted Development) Order 2015

Agent:

P A Scott Associates
131 Waterhouse Business Centre
2 Cromar Way
Chelmsford
Essex
CM1 2QE

Applicant:

Mascallsbury Farm
Church Road
White Roding
Dunmow
CM6 1RN

PRIOR APPROVAL

LOCATION: **Barn North Of Bury Farm Bury Road Pleshey Chelmsford**
PROPOSAL: **Determination as to whether the prior approval of the local planning authority is required for proposed change of use of Agricultural Building to 3 dwellinghouses (Class C3).**
APPLICATION NO: **20/00066/CUPAQ**
DATE RECEIVED: **21 January 2020**
DRAWING NO(s): **PS 3213.3/A; PS 3213.2/A; ; ;**

The Council has given consideration to the application and plans as specified above, and hereby gives notice that it has been determined that **Prior Approval is required.**

Condition 1

The development must be completed within a period of 3 years starting with the date of this decision.

Reason:

In order to comply with Class Q2(3) of Schedule 2, Part 3 of the Town and Country Planning (General Permitted Development) Order 2015 (as amended).

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b) Prior to the occupation or first use of the development, any remediation of the site found necessary shall be carried out, and a validation report to that effect submitted to the local planning authority for written approval and the development shall be carried out in accordance with that scheme.

Reason:

This information is required prior to the commencement of the development because this is the only opportunity for contamination to be accurately assessed. This is to ensure the development does not give

rise to problems of pollution or contamination in accordance with Policies DC26 and DC29 of the adopted Core Strategy and Development Control Policies Development Plan Document.

Condition 4

No unbound material shall be used in the surface treatment of the vehicular access hereby permitted within 6 metres of the highway boundary.

Reason:

To avoid displacement of loose material onto the highway in the interests of highway safety.

Condition 5

There shall be no discharge of surface water from the development site onto the Highway.

Reason:

To prevent hazards caused by water flowing onto the highway and to avoid the formation of ice on the highway in the interest of highway safety.

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Prior to first occupation of the development the vehicular access shall be re-constructed at right angles to the highway boundary and to the existing carriageway. The width of the access at its junction with the highway shall not be less than 5.5 metres and shall be provided with an appropriate vehicular crossing of the highway verge.

Reason: To ensure that vehicles can enter and leave the highway in a controlled manner in the interest of highway safety.

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Light work

- Acceptable outside the hours shown above
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In some circumstance further restrictions may be necessary.

For more information, please contact Chelmsford City Council Public Health and Protection Services, or view the Council's website at www.chelmsford.gov.uk/construction-site-noise

2 The proposed development may be liable for a charge under the Community Infrastructure Levy Regulations 2010 (as Amended). There are further details on the Council's website at www.chelmsford.gov.uk/cil.

Prior to the commencement of development you must submit a CIL Form 5 : Notice of Chargeable Development to the Council a Commencement Notice (CIL Form 6) and if applicable also Form 7 Self Build exemption Claim Form Part 1 or Form 9 Self Build Extension Exemption Claim Form, if you have not done so already.

If your proposal is CIL liable, failure to submit the relevant forms may result in you forfeiting the right to pay the CIL charge in instalments. A Liability Notice will be sent as soon as possible to the applicant/owner and any other person who has an interest in the land. This contains details of the chargeable amount and how to claim exemption or relief if appropriate.

3 This permission is subject to conditions, which require details to be submitted and approved by the local planning authority. Please note that applications to discharge planning conditions can take up to eight weeks to determine.

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5 Please note that prior to the commencement of development, mitigation for increased recreational pressure to a European designated site must be secured either through a financial contribution towards the Essex Coast Recreational Disturbance Avoidance and Mitigation Strategy (RAMS) or through your own scheme of mitigation. Further information is available at: <https://www.chelmsford.gov.uk/planning-and-building-control/essex-coast-rams/> where an online payment can also be made if required.

Date: 17 March 2020

Signed:

David Green

DAVID GREEN

Director of Sustainable Communities

Planning and Development Management
P.O. Box 7544, Civic Centre,
Duke Street, Chelmsford,
Essex, CM1 1XP

c/o P A Scott Associates
131 Waterhouse Business Centre
2 Cromar Way
Chelmsford
Essex
CM1 2QE

Your ref:
My ref: 20/00066/CUPAQ
Please ask for: Laura Medhurst
Telephone: 01245 606817
Date: 17 March 2020
cilenquiries@chelmsford.gov.uk

Dear Sir/Madam

**Community Infrastructure Levy (CIL)
Change of Use from Class B1(a) or MB to C3 – Prior Approval Consents
Information Notice**

LOCATION: **Barn North Of Bury Farm Bury Road Pleshey Chelmsford**
PROPOSAL: **Determination as to whether the prior approval of the local planning authority is required for proposed change of use of Agricultural Building to 3 dwellinghouses (Class C3).**
APPLICATION NO: **20/00066/CUPAQ**

Under the Community Infrastructure Levy Regulations 2010 (as amended), the above planning permission first permits development once the Council has received a Notice of Chargeable Development. This form can be found on the Planning Portal accessed via the Council's CIL webpage and is entitled CIL Form 5. www.chelmsford.gov.uk/cil

This form **must** be submitted prior to commencement of the development and **must** be accompanied by the following information:

- a plan showing the Gross Internal Area of the floorspace to be converted to C3 residential uses;
- a statement confirming whether any part of the building in which the development is occurring has been in lawful use for a continuous period of six months in the 3 years ending on the date that the Notice is received by the Council; and
- if it is claimed that the building has been in lawful use, conclusive evidence to substantiate this.

If it is concluded that the building is not in lawful use the development will be liable for CIL. Failure to submit a Notice of Chargeable Development for a CIL liable development will result in a surcharge of 20% of the chargeable amount, up to a maximum of £2,500, being added to the CIL liability.

If you have any queries about this Notice please either phone 01245 606817, or email cilenquiries@chelmsford.gov.uk

Notices of Chargeable Development should be emailed to the above email address, or sent by post for the attention of Laura Medhurst, to the address above.

Yours faithfully

Laura Medhurst

Laura Medhurst
CIL Officer



P. A. SCOTT ASSOCIATES

CHARTERED BUILDING SURVEYORS

131 WATERHOUSE BUSINESS CENTRE
2 CROMAR WAY
CHELMSFORD, ESSEX CM1 2QE

TEL: CHELMSFORD (01245) 493020
FAX: CHELMSFORD (01245) 350044
EMAIL: paul@pascott.co.uk
WEB: www.pascott.co.uk

Chelmsford City Council
Planning Department
Civic Centre
Duke Street
Chelmsford
Essex CM1 1JE



For the attention of Katherine Mathieson

16 JAN 2020

15th January 2020

Dear Katherine

**PROPOSED CONVERSION OF AGRICULTURAL BARN TO THREE DWELLINGS –
DUTCH BARN, BURY FARM, BURY ROAD, PLESHEY**

Further to the withdrawal of the Prior Approval Planning Application – 19/01718/CUPAQ, and our meeting at your offices to discuss the way forward.

Please find enclosed a new Application with the following: -

- CUPAQ Application form
- 1:1250 Edged red Location Plan
- 1:500 Block Plan
- 1 set of revised drawings PS 3213.1 Revn. A, PS 3213.2 Revn. A and PS 3213.3 Revn.A

No fee is submitted as this re-submission is within twelve months.

The drawings have been revised to confirm no increase in height as a result of the conversion.

Please see attached the Structural Engineers original Report that accompanied the withdrawn Application along with the Structural Engineers addendum Report confirming the adequacy of the building's foundations and floor which are wholly satisfactory, as a result of the trial holes to expose same.

In terms of the external cladding, the lower existing weather boarding to the external walls to remain. It is proposed to replace the upper half sheeting to the external walls and the roof sheeting. This is just the sheeting, not the wall or roof structures. The new sheeting to be profiled or flat steel / alloy metal. It will not project any further out than the existing sheeting.

contd.....

page 2

Please see below my analysis of Part Q for this Application.

Q.1 (a) The barn is, and always has been, in agricultural use.

N.B. Ref. 13/11/19. The Parish Council confirmed the Agricultural use in their previous consultation response.

Q.1 (b) The two larger dwelling houses have a cumulative floor area of less than 465m².

Q.1 (c) Number of smaller dwellinghouses: 1

that one smaller dwellinghouse floor area does not exceed 100m².

Q.1 (d) Floor area of larger dwellings cumulatively less than 465m². Number of dwellings does not exceed 5. Three new dwellings are proposed.

Q.1 (e) As per previous Application. The barn is occupied under an agricultural tenancy agreement and both parties to the agreement have consented to the change of use.

Q.1 (f) Agricultural tenancy agreement not been terminated in the year before the Application.

Q.1 (g) No development carried out at the site.

Q.1 (h) The development will not result in the external dimensions extending beyond the external dimensions of the existing building.

Q.1 (i) The building works would not comprise works other than: -

(i) the installation or replacement of

(aa) windows, doors roofs or exterior walls, or

(bb) water, drainage, electricity, gas or other services, to the extent reasonably

necessary for the building to function as a dwellinghouse.

The structure is retained and adequate. All that is required is internal linings, and linings in the voids to provide insulation and services.

No new structural elements required for the building. The building, as it is, is structurally strong enough to take the additional loading, and is capable of conversion. See Structural Reports.

Q.1 (j) The site is not on article 2(3) land.

Q.1 (k) The site is not, nor forms part of a site of special scientific interest, or a safety hazard area, or a military explosives storage area.

Q.1 (l) The site is not, or contains a scheduled monument.

Q.1 (m) The building is not a Listed Building.

Conditions

Q.2—(1) Where the development proposed is development under Class Q(a) together with development under Class Q(b), development is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—

contd.....

The Conditions set out in Class Q.2 are reproduced below, with explanation as appropriate :-

(a) transport and highways impacts of the development,

Comment:- *The development makes use of an existing vehicular access off an established highway, Bury Road.*

The access is typical of that found in rural areas. It's junction with the road provides suitable visibility in both directions at point of access. The highways impact would be minimal. The proposal will not have an adverse impact on transport or highways, or result in a material increase or a material change in the character of traffic in the vicinity of the site.

There is sufficient space within the site for the parking and maneuvering. Essex Highways did not object to the previous Application. Ref. 19/11/2017 "From a highway and transportation perspective the impact of the proposal is acceptable to the Highway Authority subject to the following Conditions:....."

(b) noise impacts of the development

Comment:- *The noise impact from the conversion and use of the agricultural building would be lower than that typically associated with the building's agricultural use or potential farm related uses. Given the nature and extent of the proposal and its location, it is considered that the proposal will not have any adverse noise impacts.*

(c) contamination risks on the site.

Report emailed to Chelmsford City Council on 21st October 2019.

Comment:- *The risk of contamination within this site is very low. The buildings have only ever been used for the storage of hay / straw /grain etc. There has never been any landfill or waste disposal on or around the site and none of the land within the site, or adjacent has been used for any highly polluting activities.*

An independent report accompanies the Application which confirms that the property would be unlikely to be determined 'contaminated'. The Public Health and Protection Services had "no comments" with regard to the first Application Ref. 16/10/19.

(d) flooding risks on the site.

Comment:- *The site is in Flood Zone 1. (There is less than 1:1000 (0.1%) chance of flooding occurring each year).*

(e) whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order.

Comment:- *The barn falls to the north of Bury Road. Neighbouring residential buildings are to the south. Therefore, the proposed residential use would be comparable with it's neighbours.*

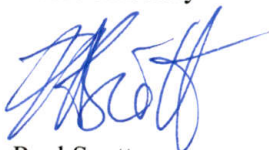
It is the case that the location or siting of the building does not make it otherwise impracticable or undesirable for the building to change from agricultural use to a dwelling house for the purposes of Class Q.

(f) the design or external appearance of the building.

Comment:- *The building remains largely the same in terms of its size and appearance and external elevations, and character. New windows and doors openings are provided, all as per Q.1 (i) (i) (aa) above. See revised drawings PS 3213.1 Revn. A, PS 3213.2 Revn. A and PS 3213.3 Revn. A.*

Should you require any further information please do not hesitate to contact me.

Yours sincerely



Paul Scott

P A SCOTT ASSOCIATES

Notification for Prior Approval for a Proposed Change of Use of Agricultural Building to a Dwellinghouse (Class C3), and for Associated Operational Development* Town and Country Planning (General Permitted Development) Order 2015 Schedule 2, Part 3, Class Q

*Agricultural buildings are permitted to change to C3 use (dwellinghouses) together with some building operations reasonably necessary to facilitate the conversion, subject to meeting certain criteria.

[Read the criteria](#)

Development is not permitted where the building is a listed building, the site is or contains a scheduled monument, is located on Article 2 (3) land, or the site is, or forms part of a site of special scientific interest, a safety hazard area or a military explosives storage area.

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Planning Authority in accordance with the legislation detailed on this form.

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Upon receipt of this form and any supporting information, it is the responsibility of the Local Planning Authority to inform you of its obligations in regards to the processing of your application. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

Publication on Local Planning Authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website.

Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information. If you require any further clarification, please contact the Local Planning Authority directly.

Find contact details for Local Planning Authorities: <https://www.planningportal.co.uk/lpasearch>

If printed, please complete using block capitals and black ink.

1. Developer Name and Address	2. Agent Name and Address
Title: <input type="text"/> First name: <input type="text"/>	Title: <input type="text" value="MR"/> First name: <input type="text" value="PAUL"/>
Last name: <input type="text"/>	Last name: <input type="text" value="SCOTT"/>
Company (optional): <input type="text"/>	Company (optional): <input type="text" value="P.A SCOTT ASSOCIATES"/>
Unit: <input type="text"/> House number: <input type="text"/> House suffix: <input type="text"/>	Unit: <input type="text"/> House number: <input type="text" value="131"/> House suffix: <input type="text"/>
House name: <input type="text" value="MASCALLSBURY FARM"/>	House name: <input type="text"/>
Address 1: <input type="text" value="CHURCH ROAD"/>	Address 1: <input type="text" value="WATERMOODE BUSINESS CENTRE"/>
Address 2: <input type="text"/>	Address 2: <input type="text" value="OCEANIC WAY"/>
Address 3: <input type="text"/>	Address 3: <input type="text"/>
Town: <input type="text" value="WHITE RODING, DUNMOW"/>	Town: <input type="text" value="CHALMSFORD"/>
County: <input type="text" value="ESSEX"/>	County: <input type="text" value="ESSEX"/>
Country: <input type="text"/>	Country: <input type="text"/>
Postcode: <input type="text" value="CM1 1RN"/>	Postcode: <input type="text" value="CM2 2QE"/>

3. Site Address Details

Please provide the full postal address of the application site.

Unit:	<input type="text"/>	Building number:	<input type="text"/>	Building suffix:	<input type="text"/>
Building name:	<input type="text" value="DUTCH BARN"/>				
Address 1:	<input type="text" value="BURY FARM"/>				
Address 2:	<input type="text" value="BURY ROAD"/>				
Address 3:	<input type="text" value="PLESHLEY"/>				
Town:	<input type="text" value="CHELMSFORD"/>				
County:	<input type="text" value="ESSEX"/>				
Postcode:	<input type="text" value="CM3 1HB"/>				

4. Current and Previous Use

If the building was not in use on 20th March 2013, what date was it last in use? (DD/MM/YY)

What was the use of the building on 20th March 2013 or the last use before that date?

If the building was brought into use after the 20th March 2013, what date was it brought into use? (DD/MM/YY)

Please provide details of its use since it was brought into use:

Is the site currently occupied under an agricultural tenancy agreement?

Yes No

If yes, I/we confirm that both parties to that agreement have consented to the change of use:

Please attach written confirmation from the landlord and tenant confirming they both agree to the change of use.

Has an agricultural tenancy agreement been terminated in the year before development is proposed to begin for the purpose of carrying out the change of use?

Yes No

If yes, I/we confirm that both parties have agreed that the site is no longer required for agricultural use:

Please attach written confirmation from the landlord and tenant confirming they both agree that the site is no longer required for agricultural use.

5. Description of Proposal

Please specify:

- The proposed net increase in the total number of dwellinghouses (the number of dwellinghouses proposed by the development that is additional to the number of dwellinghouses on the site immediately prior to the development)
- The number of dwellinghouses proposed by the development:
 - Smaller dwellinghouses (no more than 100 square metres of floor space)
 - Larger dwellinghouses (more than 100 but no more than 465 square metres of floor space)

5. Description of Proposal (Continued)

● If relevant, the number of dwellinghouses previously developed under this permitted development right within the established agricultural unit:

- Smaller dwellinghouses (no more than 100 square metres of floor space)

- Larger dwellinghouses (more than 100 but no more than 465 square metres of floor space)

Please describe the proposed development, including the design and external appearance; and the siting and location of the building(s)

Conversion to 3 dwellings

If proposed, please provide details of any building or other operations relevant to the development. Note that to qualify for permitted development, these should only include:

- the installation or replacement of:

- windows, doors, roofs, or exterior walls, or
- water, drainage, electricity, gas or other services, to the extent reasonably necessary for the building to function as a dwellinghouse; and

- partial demolition to the extent reasonably necessary to carry out types of building operations listed above.

- The installation or replacement of windows, doors, roofs.
- Water, drainage, electricity, or other services, to the extent reasonably necessary for the building to function as a dwellinghouse.

Please provide any relevant information on the impacts of the development in regard to noise and/or transport and highways; and risks on the site in regards to contamination and flooding.

A flood risk assessment should accompany the application where the site:

- is in Flood Zones 2 or 3; or
- is in a area with critical drainage problems (such areas will have been notified to the Local Planning Authority by the Environment Agency).

Check if you site location is in Flood Zone 2 or 3 online: <https://flood-map-for-planning.service.gov.uk/>

Check with your Local Planning Authority to see if your site is in an area with critical drainage problems.

Noise - N/A rural location

Not in Flood Zone

No contamination issues

No transport implications. Site/building already has vehicular access.

6. Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required could result in your notification being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. Please note that as part of this procedure, if any objections are received the Local Planning Authority may require submission of further information at a later date.

All sections of this notification completed in full, dated and signed (typed signature if sent electronically).



A plan indicating the site and showing the proposed development. A plan drawn to an identified scale will assist the authority in assessing your development proposal.



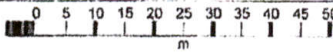
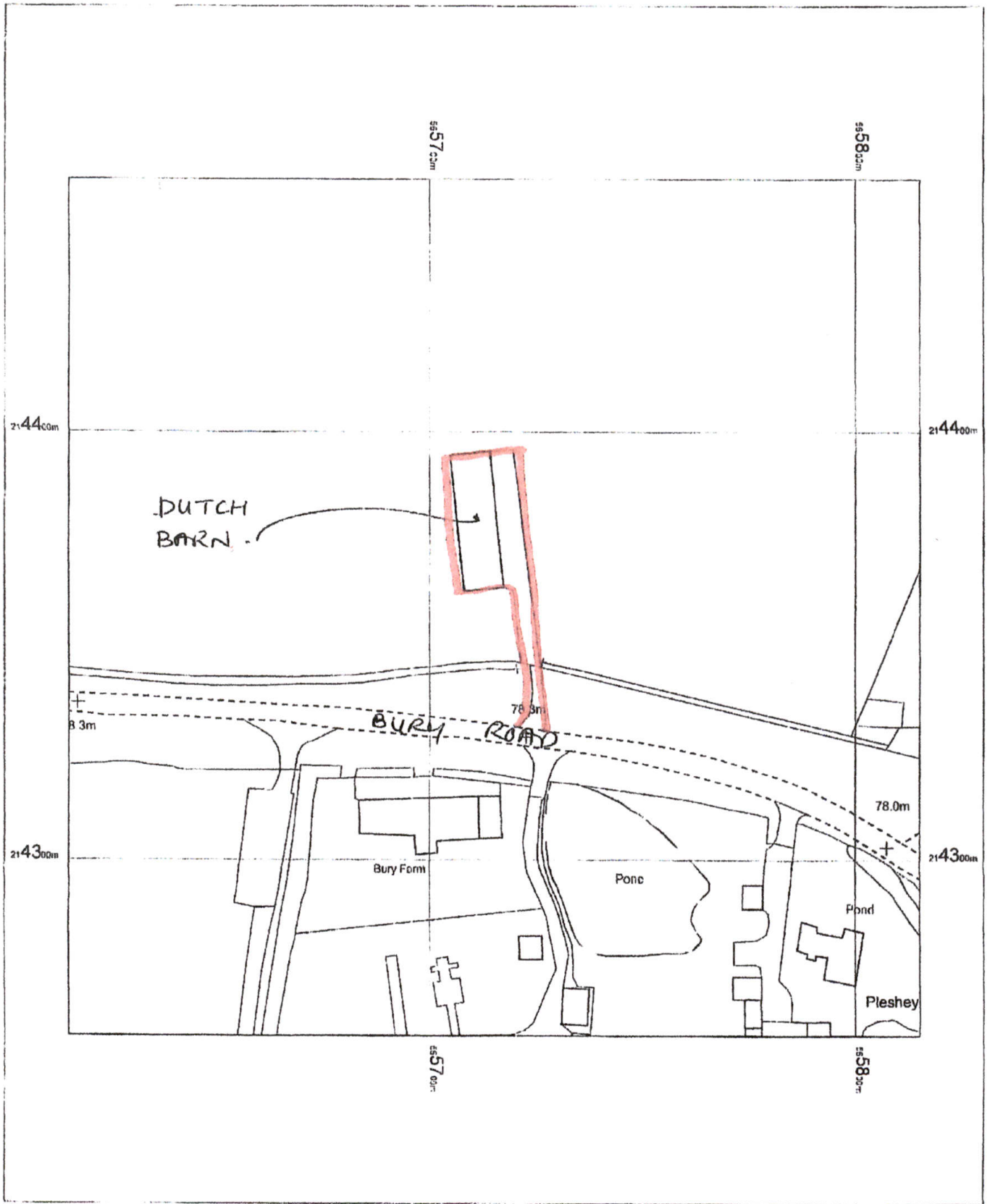
The correct fee.

Withdrawn

Re-submission of Application 19/07/18/LUPAQ



Plans can be bought from one of our accredited suppliers using our Buy a planning map (www.planningportal.co.uk/buyaplan)

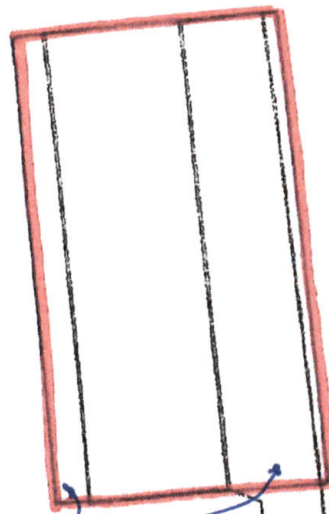


Dutch Barn
 Bury Road
 Pleshey
 CM3 1HB

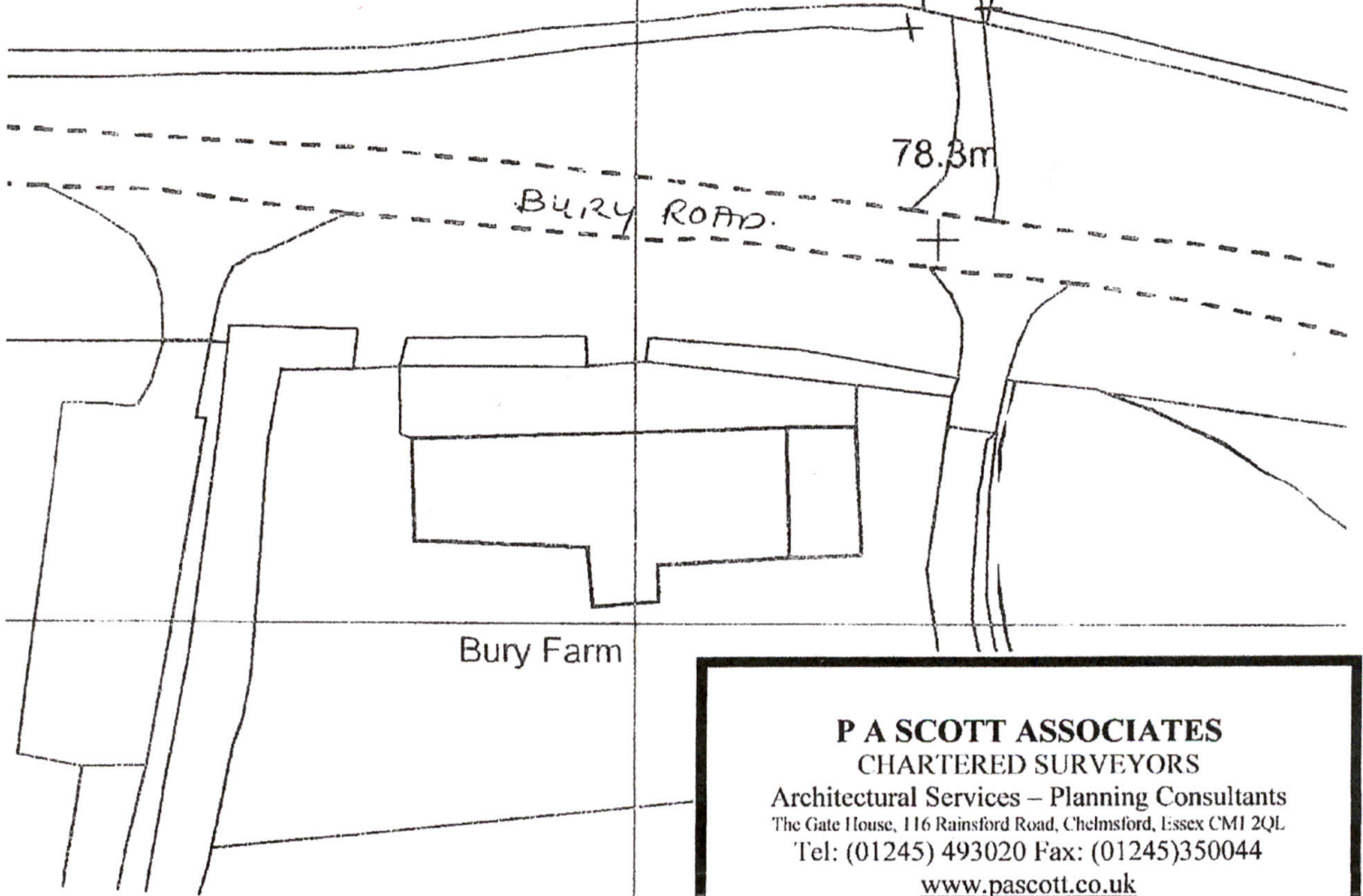
OS MasterMap 1250/2500/10000 scale
 18 January 2017, ID: BW1-00592128
 www.blackwellmapping.co.uk
 1:1250 scale print at A4, Centre: 565715 E, 214359 N
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 TEL: 01865 333 677
 maps.oxford@blackwell.co.uk



*garden areas
no greater than
footprint of building*



Bury Farm

78.3m

Bury Road

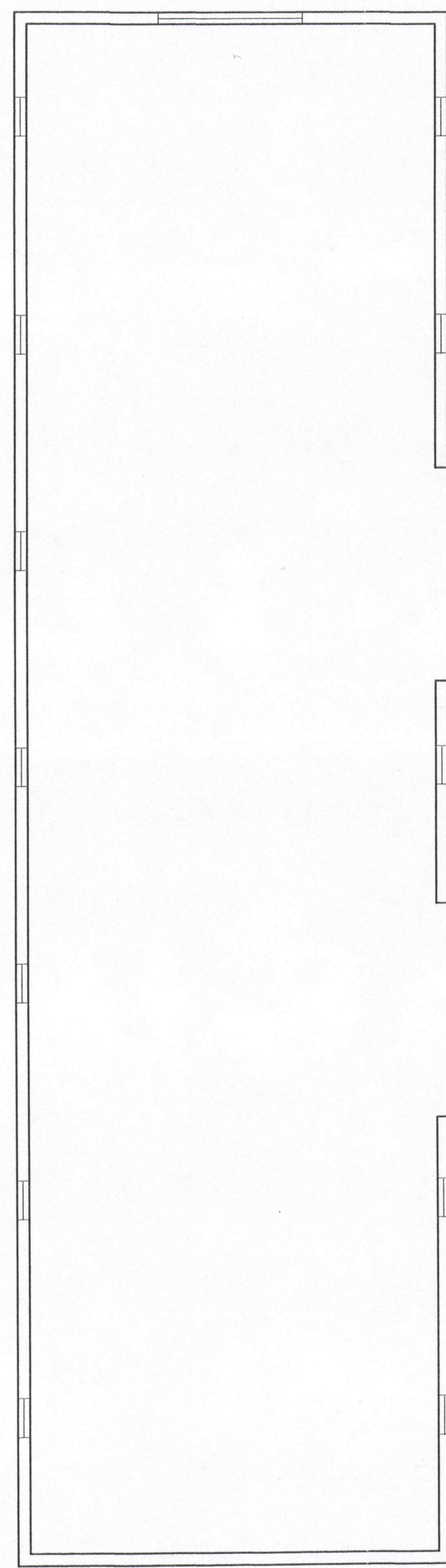
P A SCOTT ASSOCIATES
CHARTERED SURVEYORS
Architectural Services – Planning Consultants
The Gate House, 116 Rainsford Road, Chelmsford, Essex CM1 2QL
Tel: (01245) 493020 Fax: (01245)350044
www.pascott.co.uk
paul@pascott.co.uk

Barn
Bury Road
Pleshey
Essex CM3 1HB

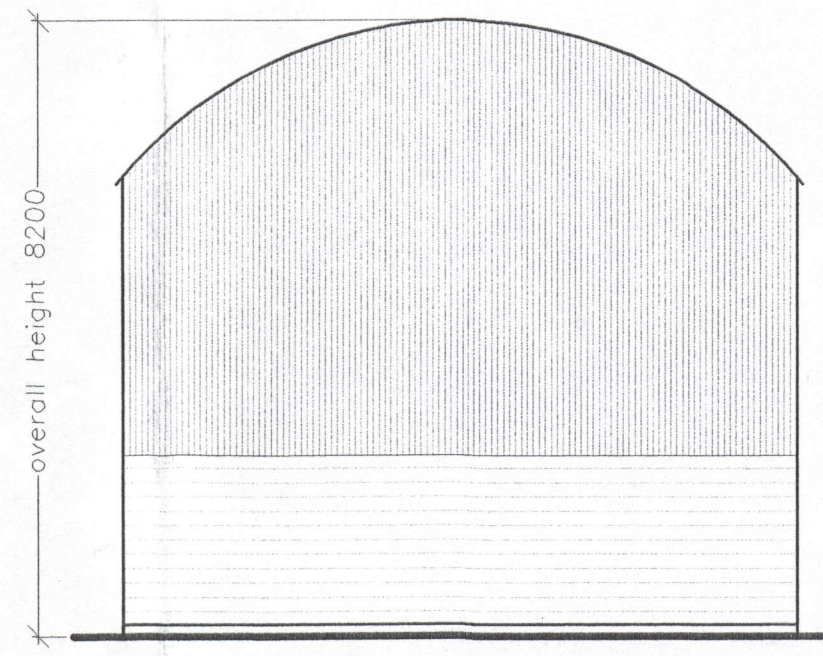
BLOCK PLAN

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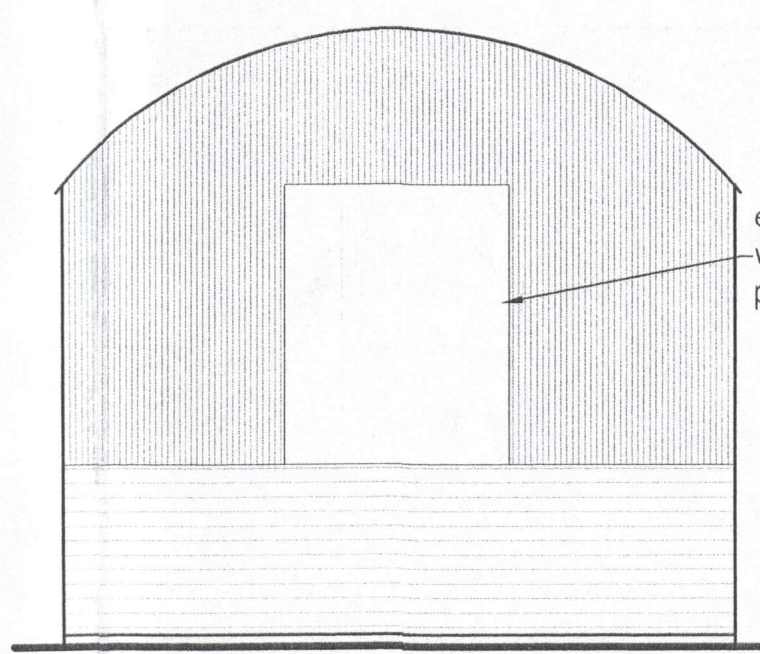
Date: Jan 2017



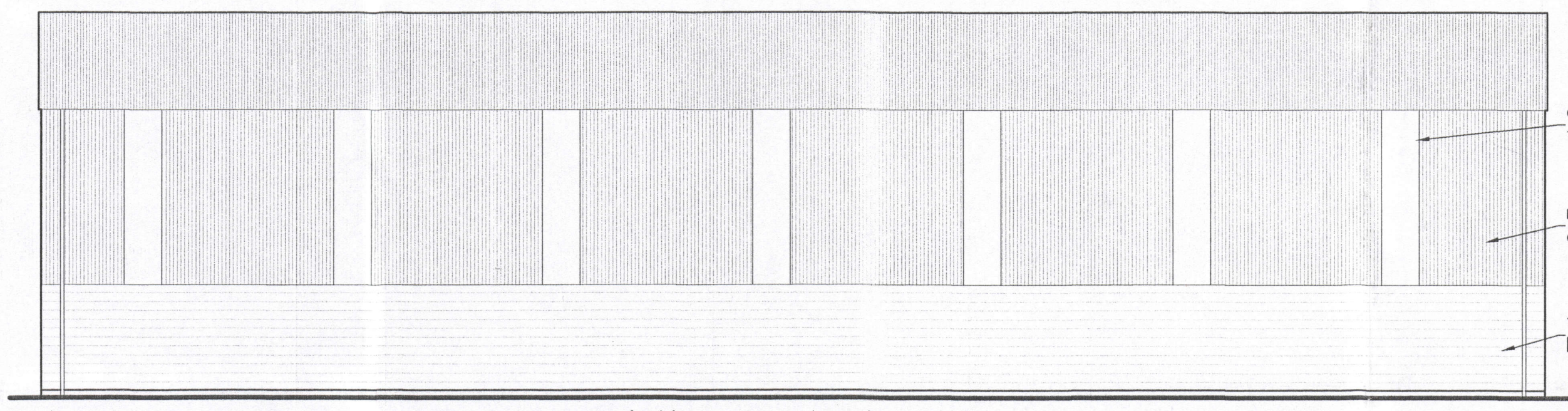
existing ground floor plan



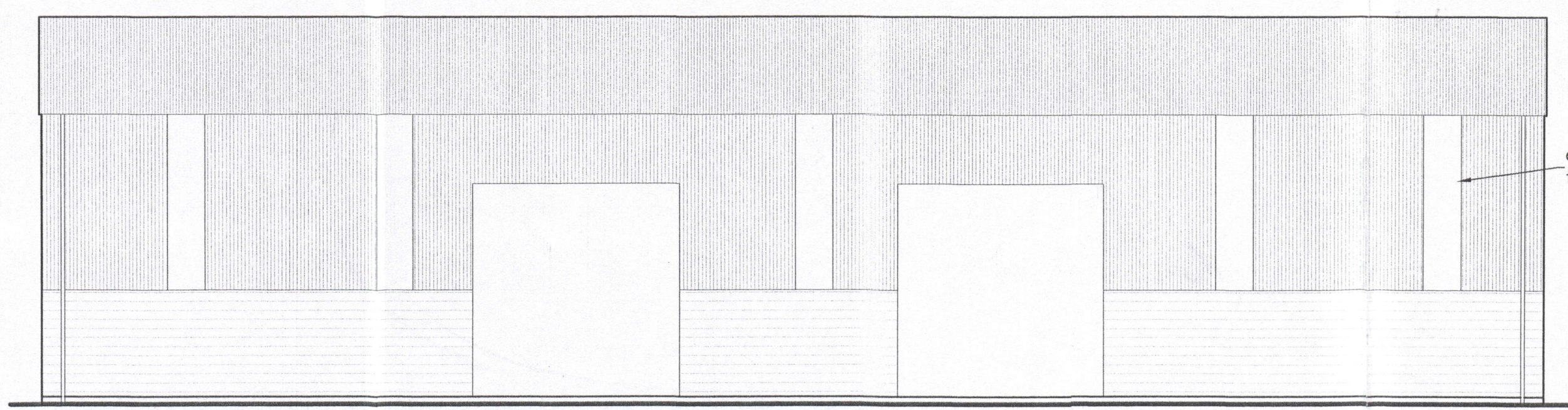
existing south elevation



existing north elevation



existing west elevation



existing east elevation

existing openings with translucent panels
 metal sheet cladding
 featheredge boarding

existing openings with translucent panels

- General notes**
- All dimensions to be checked on site before work commences.
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The Construction (Design and Management) Regulations 2015

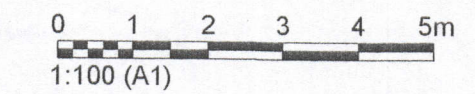
CDM REGULATIONS
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Domestic clients
 The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.
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The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:
 (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.
 Or:
 Exceeds 500 person days.

Boundaries
 It is the client / building owner's responsibility to ensure that all parts of the building e.g. roof, walls, soffits, fascias, gutters, foundations are constructed wholly within the client / building owner's land. No encroachment over the boundary without the adjoining owner's consent. Any boundary lines shown on this drawing are based on physical site characteristics e.g. fences, walls etc and are not legally definitive. It is the client / building owner's responsibility to verify the positions of all relevant boundaries, with any adjoining owners as necessary / appropriate.

Party Walls
 The Party Wall etc Act 1996 places obligations on owners of buildings and adjoining owners. Any structure to be built astride the boundary line would normally require the adjoining owner to be notified in accordance with the formalised procedures detailed in the Act. Any proposed buildings or extensions within 3m of the adjoining buildings may also mean that formal notification is needed. It is the building owner's responsibility to ensure that the relevant notices have been served on any adjoining owners where the Act applies.



A	overall height dimensions added	bs	12/19
no.	revisions	by	date

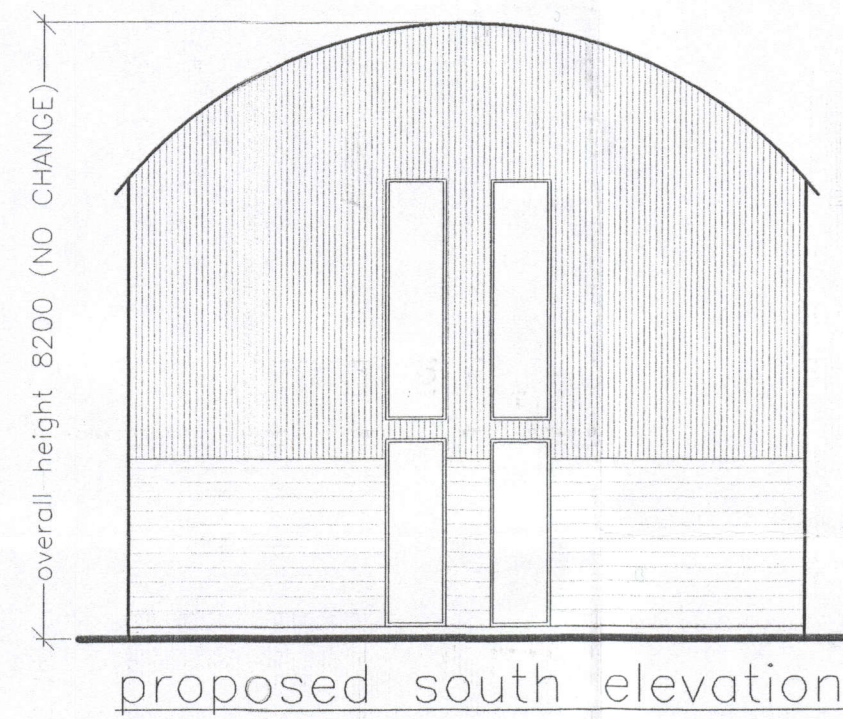
client
Mr D McGowan

project
 conversion of agricultural building to 3 dwellings – Dutch Barn, Bury Road, Pleshey

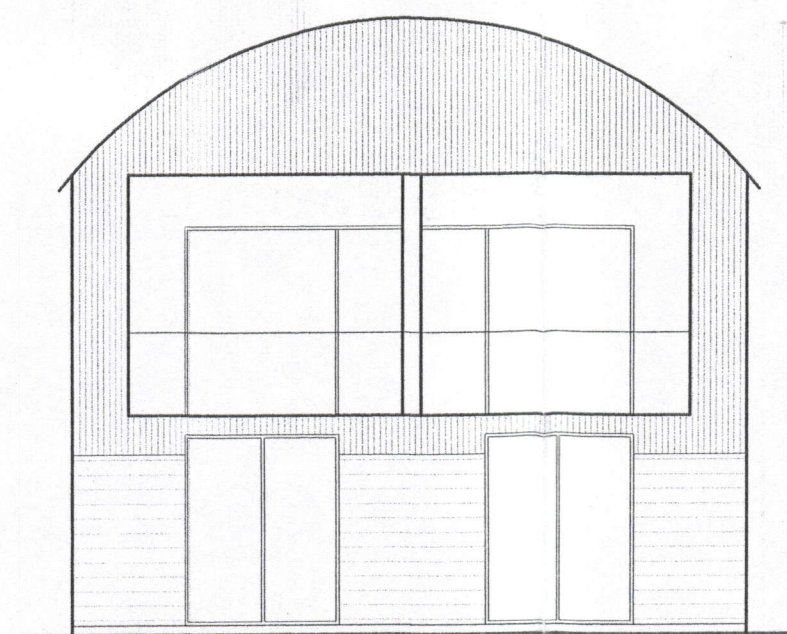
drawing
 planning drawing – existing plan & elevation

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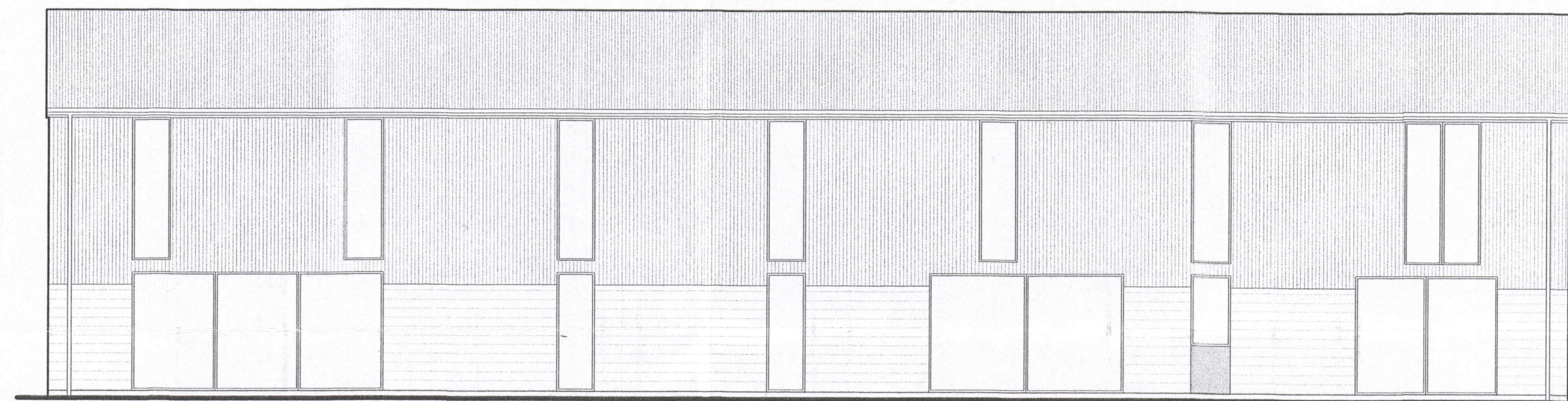
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		sheet	1 of 3
drawing no.	PS 3213.1	revn.	A



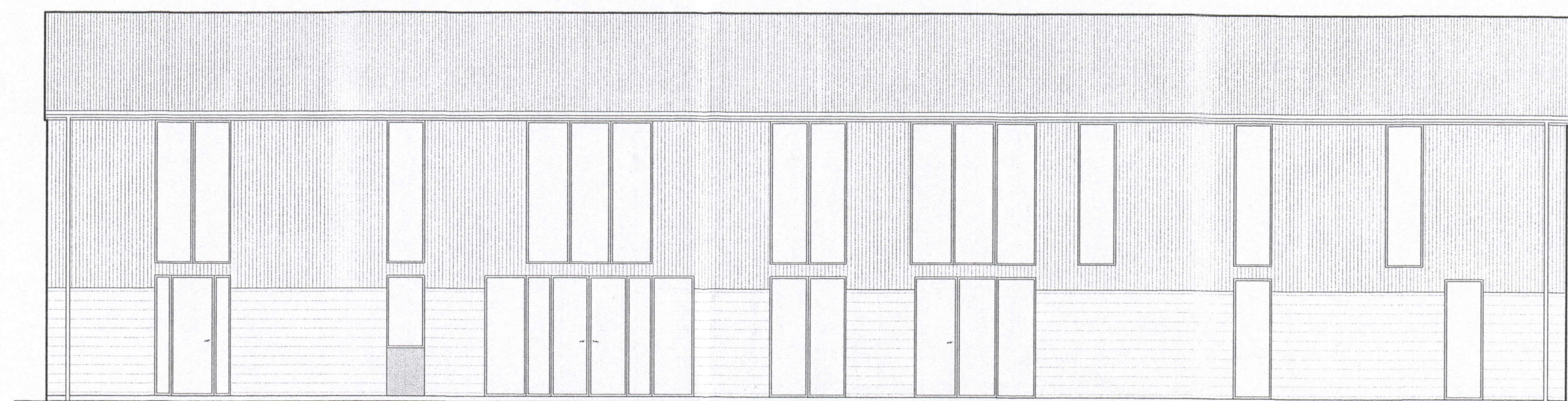
proposed south elevation



proposed north elevation



proposed west elevation



proposed east elevation

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Finishes

Roof

Profiled or flat steel / alloy metal roofing sheets to follow existing curved roof line.

Walls

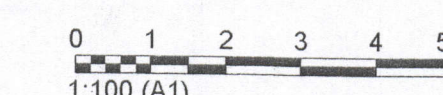
Profiled or flat steel / alloy metal sheets above 'deepdown' softwood weatherboarding stained black.

Joinery

Powder coated aluminium framed double glazed windows and doors. Openers / sub-divisions to clients choice.

Rainwater Goods

Black PVC gutters and downpipes.



A	overall height dimensions added	bs	12/19
no.	revisions	by	date

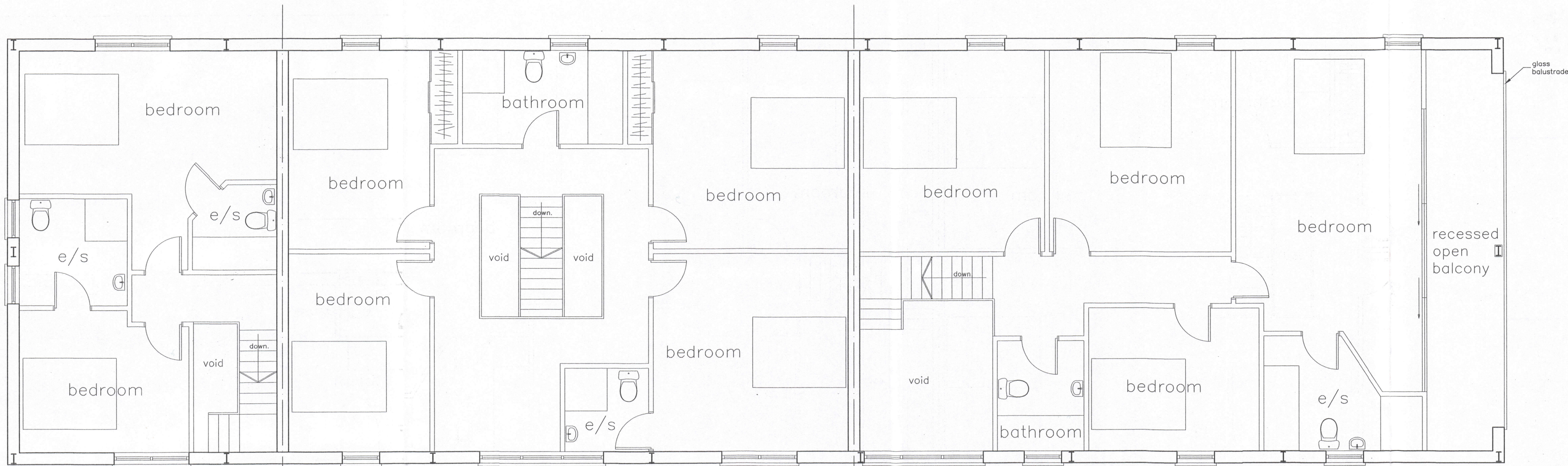
client
Mr D McGowan

project
conversion of agricultural building to 3 dwellings – Dutch Barn, Bury Road, Pleshey

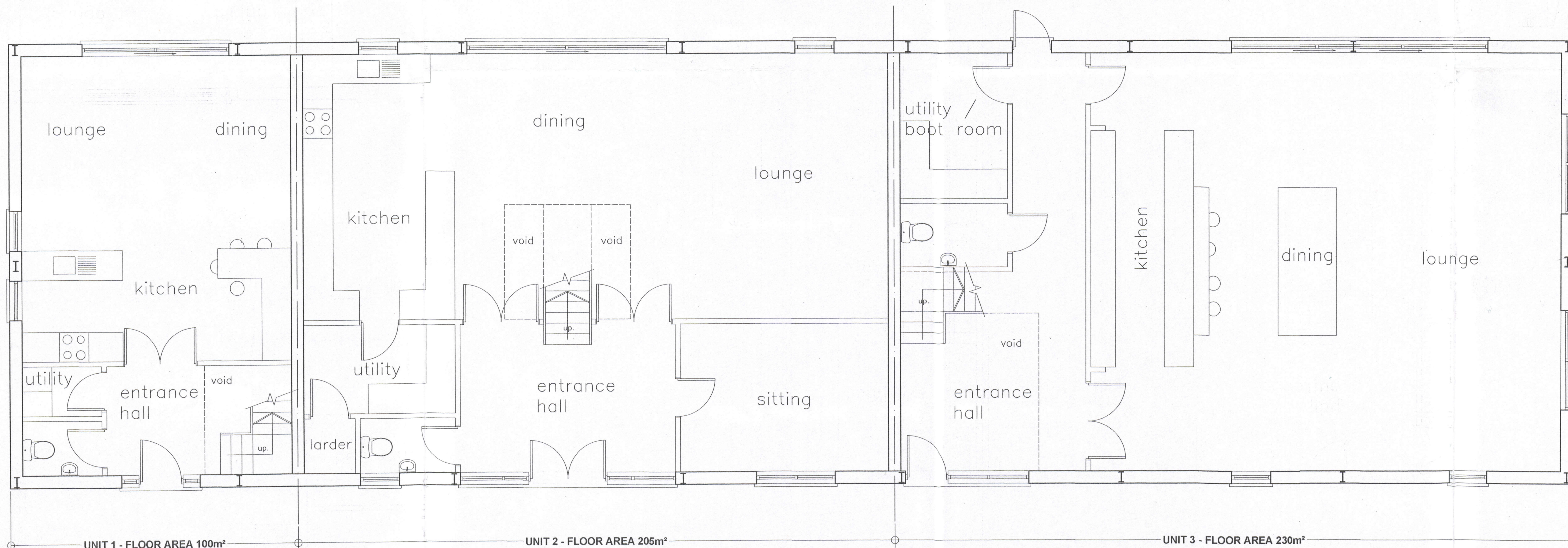
drawing
planning drawing – proposed elevations

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scale(s)	1:100	drawn	bs
date	aug '19	checked	ps
drawing no.	PS 3213.3	sheet	3 of 3
		revn.	A



proposed first floor plan



proposed ground floor plan

General notes

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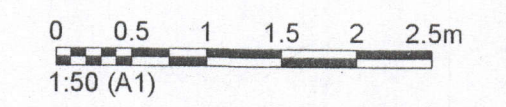
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A	plan updated	bs	08/19
no.	revisions	by	date

client
Mr D McGowan

project
conversion of agricultural building to 3 dwellings – Dutch Barn, Bury Road, Pleshey

drawing
planning drawing – proposed floor plans

P A SCOTT ASSOCIATES
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date	aug '19	checked	ps
drawing no.	PS 3213.2	sheet	2 of 3
		revn.	A

Davies Burton Sweetlove Ltd.

Consulting Structural and Civil Engineers

Springfield Lodge, Colchester Road, Chelmsford, Essex. CM2 5PW
T: 01245 464130 W: www.dbs-consultants.co.uk E: office@dbs-consultants.co.uk

DBS

ADDENDUM REPORT

17-472

**Dutch Barn
Bury Road
Pleshey
CM3 1HB**

14 January 2020

1.00 INTRODUCTION

- 1.01 In March 2018 we were instructed by Donald McGowan to carry out a visual inspection of the above building to assess its structural adequacy in connection with its proposed conversion for residential use.
- 1.02 Our report dated 28 March 2018 concluded that subject to further site investigation the proposed conversion works could be carried out without substantial reconstruction of the existing structure.
- 1.03 This addendum report relates to site investigation work carried out in December 2019 and should be read in conjunction with our original report referred to above.

2.00 SITE INVESTIGATION

- 2.01 Trial pits have recently been excavated to confirm details of the existing foundations and underlying soil conditions.
- 2.02 The trial pits revealed that the foundations to the existing columns consist of 900 x 900mm concrete pads the underside of which are located around 950mm below ground level.
- 2.03 The underlying soil consists of stiff light brown chalky clay.
- 2.04 The edge of the existing floor slab was also exposed at the trial pit locations and the slab itself was estimated to be around 250mm thick.

3.00 SUMMARY AND CONCLUSIONS

- 3.01 The trial pit excavations have confirmed that the foundations and the ground floor slab of the existing building are of substantial concrete construction.
- 3.02 The foundations extend below ground level into stiff naturally occurring clay which by inspection has an allowable bearing capacity of at least 100kN/m².
- 3.03 We can therefore confirm that the existing foundations and floor slab are more than adequate to accommodate the proposed conversion of the existing building.

This report shall be for the private and confidential use of the client for whom it was undertaken and it should not be reproduced in whole or in part or relied upon by third parties for any use without the express written authority of Davies Burton Sweetlove Limited.

Signed



Davies Burton Sweetlove Ltd.

Consulting Structural and Civil Engineers

Springfield Lodge, Colchester Road, Chelmsford, Essex. CM2 5PW

T: 01245 464130 W: www.dbs-consultants.co.uk E: office@dbs-consultants.co.uk

DBS

STRUCTURAL INSPECTION REPORT

17-472

**Dutch Barn
Bury Road
Pleshey
CM3 1HB**

28 March 2018

1.00 INTRODUCTION

- 1.01 We were instructed by Donald McGowan to carry out a visual inspection of the above building and to report on its structural condition.
- 1.02 We understand that its proposed to convert the barn for residential use and that a structural report is required in support of the associated planning application.
- 1.03 Davies Burton Sweetlove Limited were instructed to carry out the necessary inspection and to report according. We visited the site on the 19 March and our findings were as follows -

2.00 PROPERTY DESCRIPTION

- 2.01 The building is a detached barn located on a reasonably level site on the north side of Bury Road close to the village of Pleshey.
- 2.02 The structure consists of a series of steel frames with curved rafters and a maximum roof height of around 8m.
- 2.03 The roof and high level walls are clad with profiled metal sheeting which is fixed to steel angle purlins spanning between the main frames.
- 2.04 The building would originally have been open at low level but has been infilled with timber studwork / weatherboarding to protect the stored materials from the elements.
- 2.05 A solid concrete floor slab has been incorporated throughout.
- 2.06 The site itself is reasonably level with no significant vegetation within the immediate facility.

3.00 EXAMINATION OF ELEVATIONS

- 3.01 A careful examination of all internal and external elevations was carried out as part of our inspection.
- 3.02 Our comments in relation to the condition of the structure are set out below and should be read in conjunction with the attached photographs.

4.00 EXTERNAL WALLS (LOW LEVEL)

- 4.01 As noted previously the external walls have been infilled with timber studwork to a height of approximately 2m above floor level.
- 4.02 Our inspection revealed that the walls consisted of 100 x 50mm timber studs at approximately 600mm centres clad externally with timber weatherboarding.
- 4.03 At low level the studs are built off the edge of the floor slab via a single course of brickwork and 50mm thick timber sole plate. At high level the studs are connected to a 50mm thick head plate which in turn connects to the main steel columns.
- 4.04 Our inspection revealed that all timbers and external cladding in these areas were in sound condition.

5.00 EXTERNAL WALLS (HIGH LEVEL)

- 5.01 At high level the walls are clad in profiled metal sheeting fixed to 70 x 70mm steel angle purlins at approximately 1.3m vertical centres.
- 5.02 Our inspection revealed that the high level wall cladding and supporting purlins were in sound condition.

6.00 ROOF STRUCTURE

- 6.01 The curved roof is clad in similar profiled sheeting to the high level walls and is again supported by intermediate steel purlins.
- 6.02 Our inspection from ground level revealed no evidence of any significant defects and the cladding and supporting purlins appeared to be in sound condition.

7.00 MAIN STEEL FRAMES

- 7.01 The structure was found to consist of a series of steel frames located at approximately 4.5m centres along the length of the building. The columns on

the front and rear elevations were measured as 203 x 102 universal beams and are connected at high level by curved lattice beam rafters spanning approximately 9m.

7.02 The frames were connected by longitudinal lattice beams at eaves level with knee braces at various locations providing lateral stability.

7.03 Some light surface corrosion was noted but the steel frames generally appeared to be reasonably sound with no evidence of any significant deflection or distortion.

8.00 FLOOR SLAB

8.01 A good quality concrete floor slab has been incorporated over the entire footprint of the building.

8.02 The slab incorporates a central saw cut movement / crack inducement joint along its full length along with similar transverse joints at maximum 9m centres. The floor slab was found to be performing satisfactorily with no evidence of any significant settlements or cracking.

9.00 MISCELLANEOUS

9.01 It was noted that the curved roof was drained via gutters on the front and rear elevations into rainwater down pipes at each corner of the building.

9.02 The rainwater pipes discharge directly onto the ground and this arrangement will need to be modified as part of any future conversion works.

10.00 DISCUSSION AND CONCLUSIONS

10.01 Our inspection revealed that the existing structure appears to be performing satisfactorily with no evidence of any significant structural failure.

10.02 All exposed steel and timber elements appear to be in good condition.

10.03 We understand that the proposed conversion works will involve construction of new two storey accommodation within the footprint of the existing building.

This will require new steel / timber framing to form the new first floor but the original structure and external fabric will remain largely unaltered.

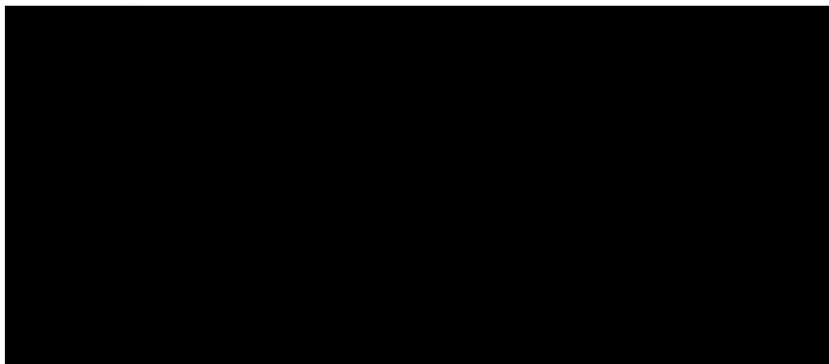
- 10.04 Preliminary calculations show the existing steel frame to be structurally adequate although some additional purlins and cladding rails may be required.
- 10.05 To accommodate the proposed change to residential use the walls and floor will need to be insulated although at this stage it is not clear how this will be achieved.
- 10.06 We have not been able to assess the adequacy of the foundations to the existing steel columns and would recommend that trial pits are excavated to confirm the foundation details and underlying soil conditions.
- 10.07 With regard to the external rainwater goods these will need to be connected to a suitable water course or soakaways. A new foul water system will also be required to deal with discharge from the proposed conversion.
- 10.08 In summary we'd conclude that the existing structure appears to be performing satisfactorily. Subject to further investigation in the form of trial pits etc, we anticipate that the proposed conversion works can be completed without substantial reconstruction of the existing structure.

We've not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

The condition of the finishes, electrical wiring, plumbing, waterproofing, including the roof coverings, damp penetration and associated decay of structural timbers, unless specifically referred to, are not the subject of this report. We recommend the services of specialists to establish whether any remedial works are required.

This report shall be for the private and confidential use of the client for whom it was undertaken and it should not be reproduced in whole or in part or relied upon by third parties for any use without the express written authority of Davies Burton Sweetlove Limited.

Signed



Homecheck Environmental



Contamination Risk **PASSED**

Professional Opinion

Argyll Environmental Consultants have passed this report in accordance with the definition of contaminated land within Part 2A of the Environmental Protection Act 1990. Please refer to the Professional Opinion page and Section 1 for further information.



Flood Risk: None Identified

Refer to Section 2 for further information

Conveyancer Guidance

While this report may have identified areas at risk of flooding within 250m of the search centre, we consider there to be no significant risk of flooding to the property. Please refer to Section 2 for further information.



Radon: None Identified

Refer to Section 3 for further information



Ground Stability: None Identified

Refer to Section 4 for further information



Other Influential Factors:

Refer to Section 5 for further information

Environmental Constraints: None Identified

See Section 5a

Report issued for the property at
**Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB**

Report Reference
150869566_1_1

National Grid Reference
565710 214380

Customer Reference
CM3 1HB_HCP

Report Date
21 December 2017

Contact Details

If you require assistance please contact your Search Provider or phone Customer Services on 0844 844 9966 or email helpdesk@homecheck.co.uk

Landmark Contribution

By purchasing this report, the recipient may be eligible for Remediation Contribution of up to £60,000 if served with a Remediation Notice by the Local Authority. Such a notice may require the homeowner to pay for all, or contribute to, the remediation of the property. For more information see Landmark's Terms and Conditions.

Homecheck Environmental



Professional Opinion

Contamination Risk

PASSED

In the professional opinion of Argyll Environmental Consultants, the level of contamination risk associated with the information disclosed in the Homecheck Professional report dated 21st December 2017 and reference 150869566_1_1, CM3 1HB_HCP for

**Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB**

1) is unlikely that the property would be designated "contaminated land" within the meaning of Part 2A of the Environmental Protection Act 1990.

2) is unlikely to have an adverse effect on the security of the property for normal lending purposes.

The professional opinion refers to Section 1 of this report and should always be read in conjunction with the full text of that report. No physical site inspection or survey has been carried out or is proposed.

Approved by

Argyll Environmental Ltd



Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Contents and Summary of Findings



Site Location



Section 1: Contamination Risk Findings

Contamination Risk	0-25m	25-250m	250-500m	See Section
Designated Contaminated Land	No	No	No	1a
Landfill and Waste	No	No	No	1b
Potentially Contaminative Activities	No	Yes	No	1c
Known Pollution Incidents	No	No	No	1d
Other Potential Contaminative Land Uses	No	No	n/a	1e



Section 2: Flood Findings

Flood	0-25m	25-250m	See Section
River Flooding	No	No	2a
Coastal Flooding	No	No	2b
Surface Water Flooding	No	Yes	2c



Section 3: Radon Findings

Radon	Result	See Section
Radon Affected Property	No	3



Section 4: Ground Stability Findings

Ground Stability	Result	See Section
Man-Made Factors	No	4a
Natural Factors	No	4b



Section 5: Other Influential Factors

Other Influential Factors	Result	See Section
Environmental Constraints	No	5a



Site Location



Aerial Photograph

The photograph below shows the location of the site to which this report relates.



Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

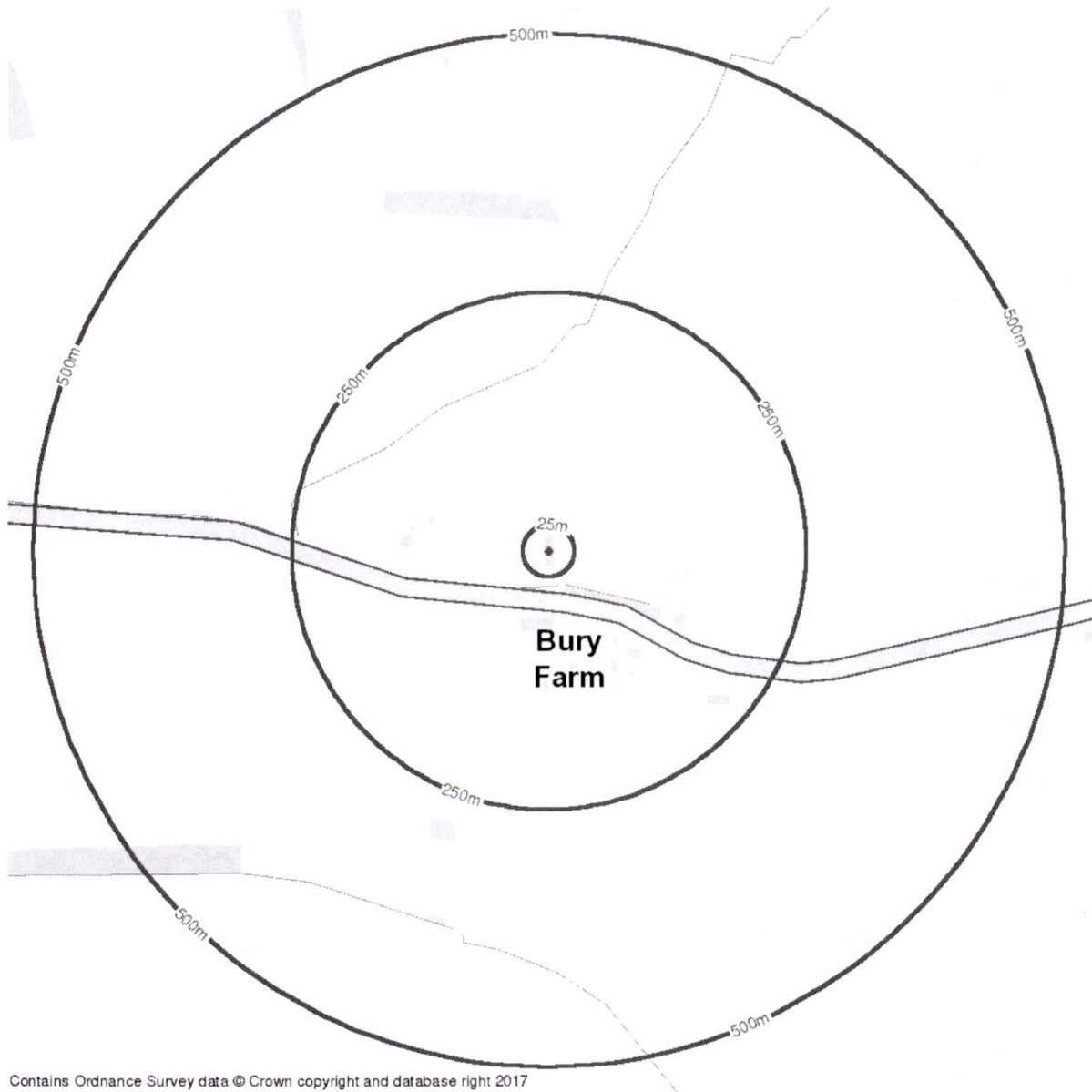
Report Reference 150869566_1_1

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Date 21 December 2017
Page 2 of 22



Location Map

The map below shows the location of the site to which this report relates.



Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 3 of 22



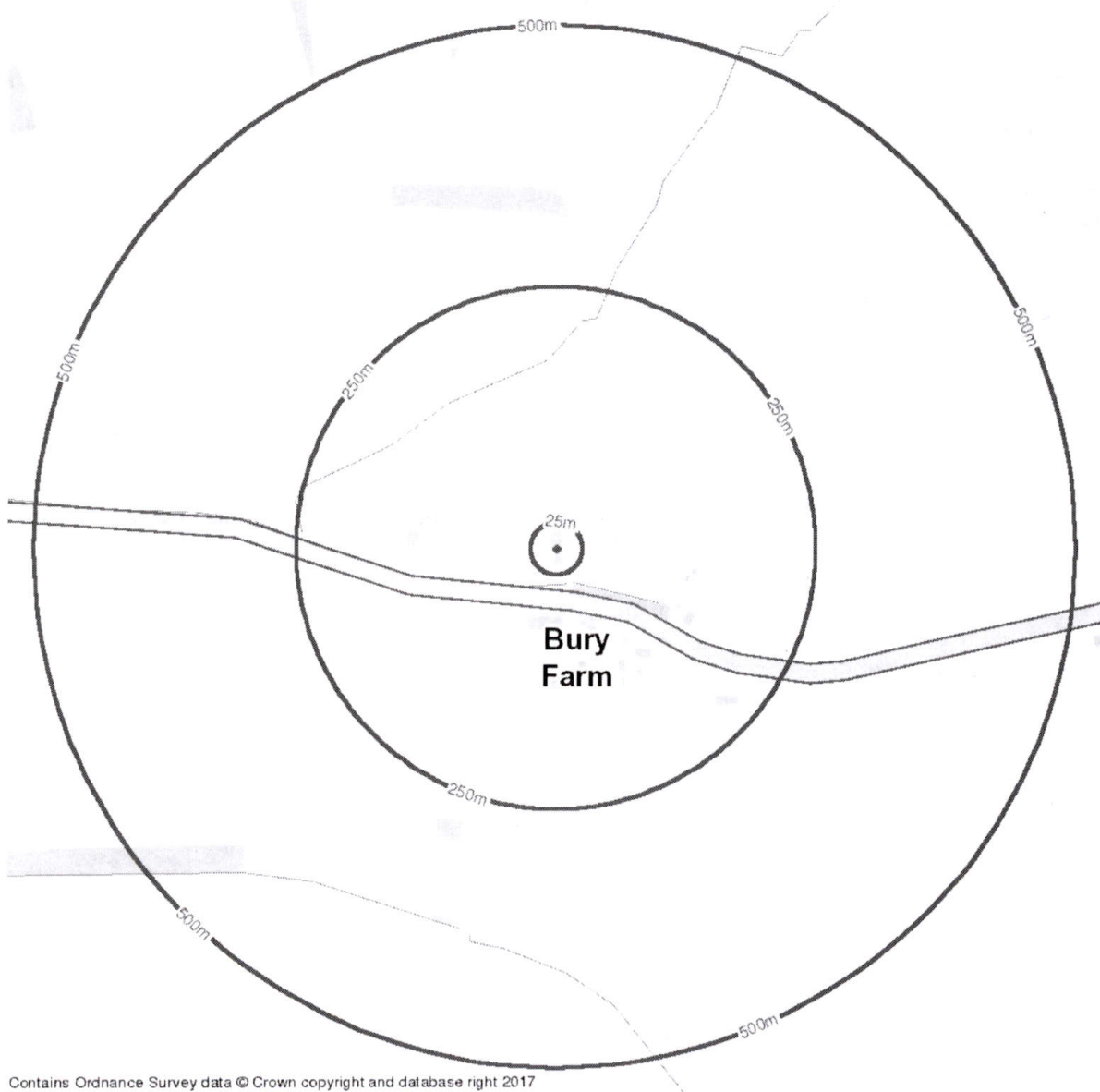
Section 1: Contamination Risk Findings

The whole of section 1 deals with potential sources of contamination and provides the information by which this report has either been passed or referred for assessment.



Section 1a and 1b: Information Map

The map detailed below shows the location of the Designated Contaminated Land and Landfill and Waste features highlighted within sections 1a and 1b of this report.



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Section 1a

Contaminated Land Registry Entries and Notices

Section 1b

Registered Landfill Sites

Registered Landfills (Potential Buffer)

BGS Recorded Landfill Sites

Local Authority Recorded Landfill Sites

Historical Landfill Sites

Permitted Waste Sites - Authorised Landfill Site Boundaries

Environmental Permitting Regulations - Waste

Integrated Pollution Control Registered Waste Sites

Registered Waste Treatment or Disposal Sites

Registered Waste Transfer Sites

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 4 of 22

Section 1a: Designated Contaminated Land

The data within this section tells you whether your property or surrounding area has been identified by the Local Authority as "Contaminated Land" under the Environmental Protection Act 1990. Should there be an indication of contamination, it is not necessarily a cause for concern. Your report will be assessed by our professional environmental consultants who will advise you what, if any, considerations need to be made should you proceed with the property purchase.

Enquiry	Result
Has any contaminated land been identified within 500m of the property?	No

Map ID	Reference	Location	Details	Distance	Contact
--------	-----------	----------	---------	----------	---------

Contaminated Land Register Entries and Notices

No factors identified for this property

Section 1b: Landfill and Waste

The information in this section is telling you about active and historic landfill and waste sites within 500 metres of the property. Having a landfill or waste site near your property does not necessarily mean that you or the property will be affected. However, it is something you need to be aware of, because landfill and waste can have a detrimental effect on the surrounding environment, house value and health. A closed landfill/waste site should be given equal consideration to an active site, because of landfill by-products. For instance, landfill with lots of organic material can continue to produce odours and gas for many years.

Enquiry	Result
Have any landfill and waste sites been identified within 500m of the property?	No

Map ID	Reference	Location	Details	Distance	Contact
--------	-----------	----------	---------	----------	---------

Registered Landfill Sites

No factors identified for this property

BGS Recorded Landfill Sites

No factors identified for this property

Local Authority Recorded Landfill Sites

No factors identified for this property

Local Authority Recorded Landfill Coverage

The following list details the Local Authorities that cover the search area who have made landfill data available:

Chelmsford Borough Council	- Has no landfill data to supply	3
Essex County Council	- Has supplied landfill data	4
Uttlesford District Council	- Has no landfill data to supply	5

For further information regarding the availability of Local Authority Recorded Landfill data you may wish to forward enquiries to one or more of the contacts indicated above.

Historical Landfill Sites

No factors identified for this property

Permitted Waste Sites - Authorised Landfill Site Boundaries

No factors identified for this property

Environmental Permitting Regulations - Waste

No factors identified for this property

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 5 of 22

Map ID	Reference	Location	Details	Distance	Contact
--------	-----------	----------	---------	----------	---------

Integrated Pollution Control Registered Waste Sites

No factors identified for this property

Registered Waste Treatment or Disposal Sites

No factors identified for this property

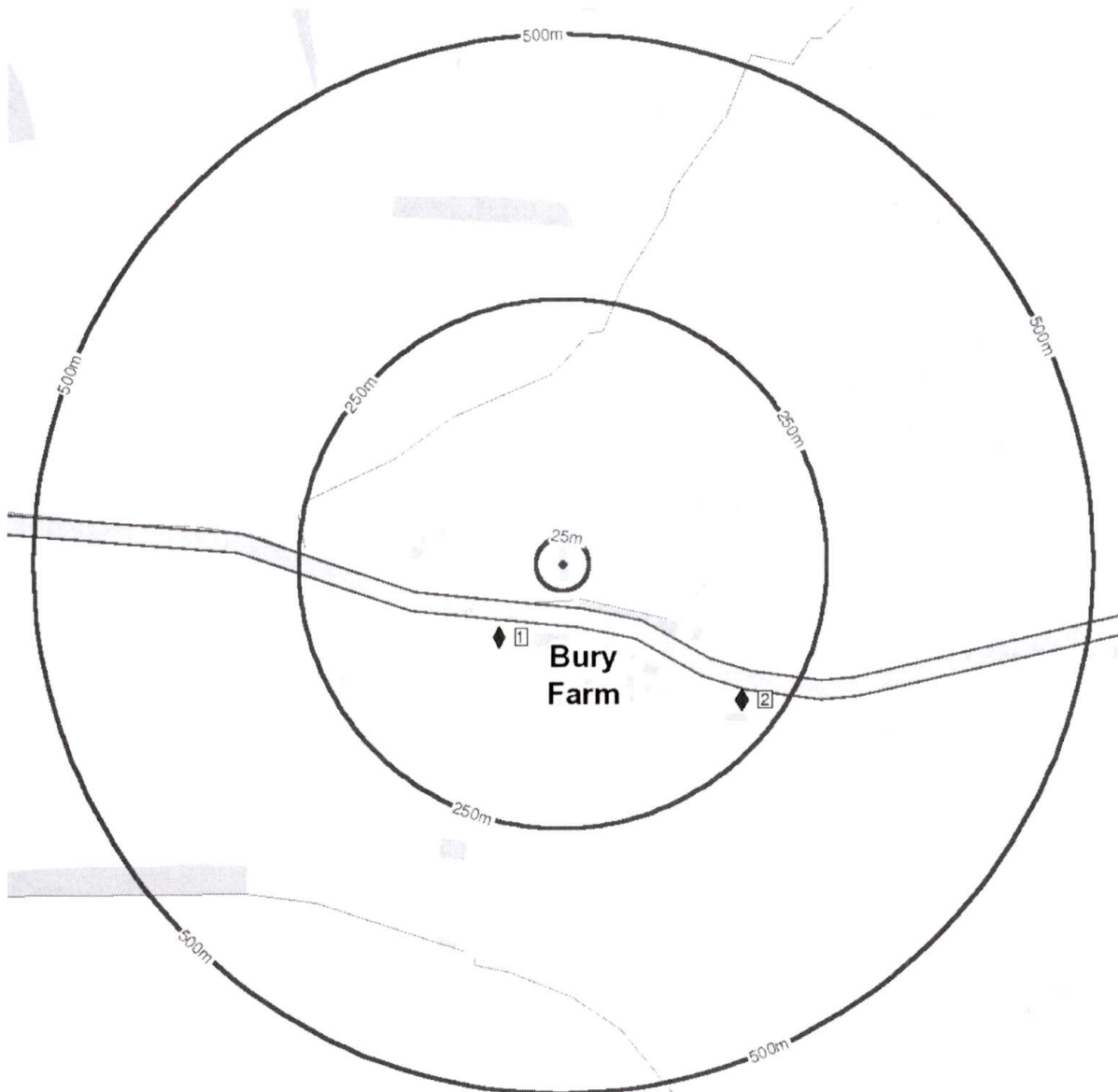
Registered Waste Transfer Sites

No factors identified for this property



Section 1c and 1d: Information Map

The map detailed below shows the location of the Potentially Contaminative Activities and Known Pollution Incidents features highlighted within sections 1c and 1d of this report.



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Section 1c

- ▲ Local Authority Pollution Prevention and Controls
- ▼ Local Authority Integrated Pollution Prevention and Control
- ◀ Integrated Pollution Controls
- ▶ Environmental Permitting Regulations - Industry
- ◆ Consent to Discharge to Controlled Waters
- ⊗ Radioactive Substances Register
- ⊗ Planning Hazardous Substance Consents
- ⊗ Control of Major Accident Hazards Sites (COMAH)
- ⊗ Notification of Installations Handling Hazardous Substances (NIHHS)
- ★ Explosive Sites

Section 1d

- + Local Authority Pollution Prevention and Control Enforcements
- + Enforcement and Prohibition Notices
- + Planning Hazardous Substance Enforcements
- Prosecutions Relating to Authorised Processes
- Environmental Pollution Incidents
- Prosecutions Relating to Controlled Waters

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 7 of 22

Section 1c: Potentially Contaminative Activities

This section describes current and historic licensed activities within 500 metres of the property, which have the potential to cause contamination or have an impact on the environment. The licensed activities could range from pollution to air, land or water; storage or disposal of radioactive substances; or storage of hazardous or explosive materials. Licences may no longer be active, but the nature of the past activity means it could still have an impact.

Enquiry	Result
Have any potentially contaminative activities been identified within 500m of the property?	Yes

Map ID	Reference	Location	Details	Distance	Contact
--------	-----------	----------	---------	----------	---------

Local Authority Pollution Prevention and Controls

No factors identified for this property

Local Authority Integrated Pollution Prevention And Control

No factors identified for this property

Integrated Pollution Controls

No factors identified for this property

Environmental Permitting Regulations - Industry

No factors identified for this property

Consent to Discharge to Controlled Waters

1	Name: Richard Morris Reference: Prenf10907	Bury Farm Plesheybury Pleshey Essex CM3 1hb	Type: Sewage Discharge Discharge Type: Sewage Discharges - Final/ Treated Effluent - Not Water Company Property Type: WWTW (NOT WATER CO) (NOT STP AT A PRIVATE PREMISES) Discharge Environment Type: Freshwater Stream/River Receiving Water: Tributary River Chelmer Status: Post National Rivers Authority Legislation where issue date > 31/08/1989 Date of Issue: 20th June 1997 Positional Accuracy: Located by supplier to within 100m	92m	1
2	Name: Mr Anthony Rantell Reference: Prenf19451	Pleshebury Pleshey Chelmsford Essex CM3 1hb	Type: Sewage Discharge Discharge Type: Sewage Discharges - Final/ Treated Effluent - Not Water Company Property Type: WWTW (NOT WATER CO) (NOT STP AT A PRIVATE PREMISES) Discharge Environment Type: Freshwater Stream/River Receiving Water: Trib Walthambury Brook Status: New Consent (Water Resources Act 1991, Section 88 & Schedule 10 as amended by Environment Act 1995) Date of Issue: 17th August 2005 Positional Accuracy: Located by supplier to within 10m	214m	1

Radioactive Substances Register

No factors identified for this property

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 8 of 22

Map ID	Reference	Location	Details	Distance	Contact
Planning Hazardous Substance Consents					
No factors identified for this property					
Control of Major Accident Hazards Sites (COMAH)					
No factors identified for this property					
Notification of Installations Handling Hazardous Substances (NIHHS)					
No factors identified for this property					
Explosive Sites					
No factors identified for this property					

Next Steps

If you would like any further information in respect of the above findings we recommend that you contact the relevant Local Authority or the Environment Agency/Natural Resources Wales, their contact details can be found in the 'Useful Contacts' section of this report. Further Information is also available in the 'Useful Information' section.

Section 1d: Known Pollution Incidents

The data within this section describes unpermitted activity in your area (e.g. polluting incidents, or exceedance of permitted allowance) where the activity led to a prosecution or enforcement of regulations. Whilst all of these records are historic, the nature of the incident may have long term effects.

Enquiry	Result
Have any known pollution incidents been identified within 500m of the property?	No

Map ID	Reference	Location	Details	Distance	Contact
Local Authority Pollution Prevention and Control Enforcements					
No factors identified for this property					
Enforcement and Prohibition Notices					
No factors identified for this property					
Planning Hazardous Substance Enforcements					
No factors identified for this property					
Prosecutions Relating to Authorised Processes					
No factors identified for this property					
Environmental Pollution Incidents					
No factors identified for this property					
Prosecutions Relating to Controlled Waters					
No factors identified for this property					

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

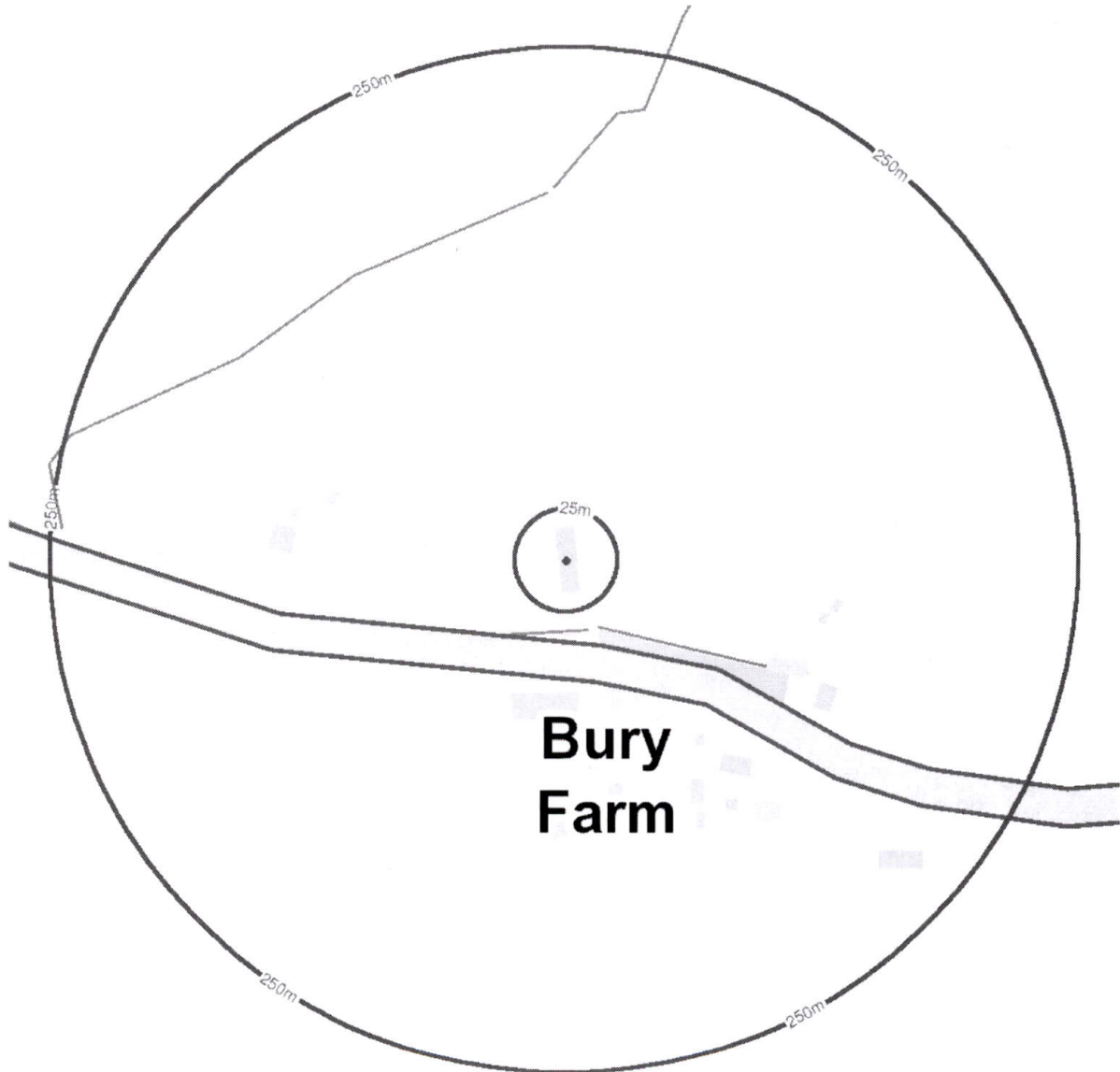
Report Reference 150869566_1_1

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Date 21 December 2017
Page 9 of 22



Section 1e: Information Map

The map detailed below shows the location of the Other Potential Contaminative Land Uses features highlighted within section 1e of this report.



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- | | |
|--|---|
| ✕ Fuel Station Entries | ☐ ▲ ● Potentially Infilled Land (Non-Water) |
| ★ Contemporary Trade Directories | ☐ ▲ ● Potentially Infilled Land (Water) |
| ⊕ Former Marshes | ☐ ● ● Potentially Contaminative Industrial Uses (Past Land Use) |
| ▼ Historical Tanks and Energy Facilities | |

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 10 of 22

Section 1e: Other Potential Contaminative Land Uses

This section describes either current or historic activity, which could be considered to be contaminative. This section makes no statement about whether the activity requires a licence; however our environmental experts deem that the activities described in this section could lead to potential contamination. The information is taken from a variety of sources including trade directories, Landmark's extensive historical map collection and analysis of historic activity. Records are highlighted due to the potential for contamination to exist.

Enquiry	Result
Have any other potential sources of contamination been identified within 250m of the property?	No

Map ID	Reference	Location	Details	Distance	Contact
--------	-----------	----------	---------	----------	---------

Fuel Station Entries

No factors identified for this property

Contemporary Trade Directory Entries

No factors identified for this property

Former Marshes

No factors identified for this property

Potentially Infilled Land (Non-Water)

No factors identified for this property

Potentially Infilled Land (Water)

No factors identified for this property

Potentially Contaminative Industrial Uses (Past Land Use)

No factors identified for this property

Historical Tanks And Energy Facilities

No factors identified for this property



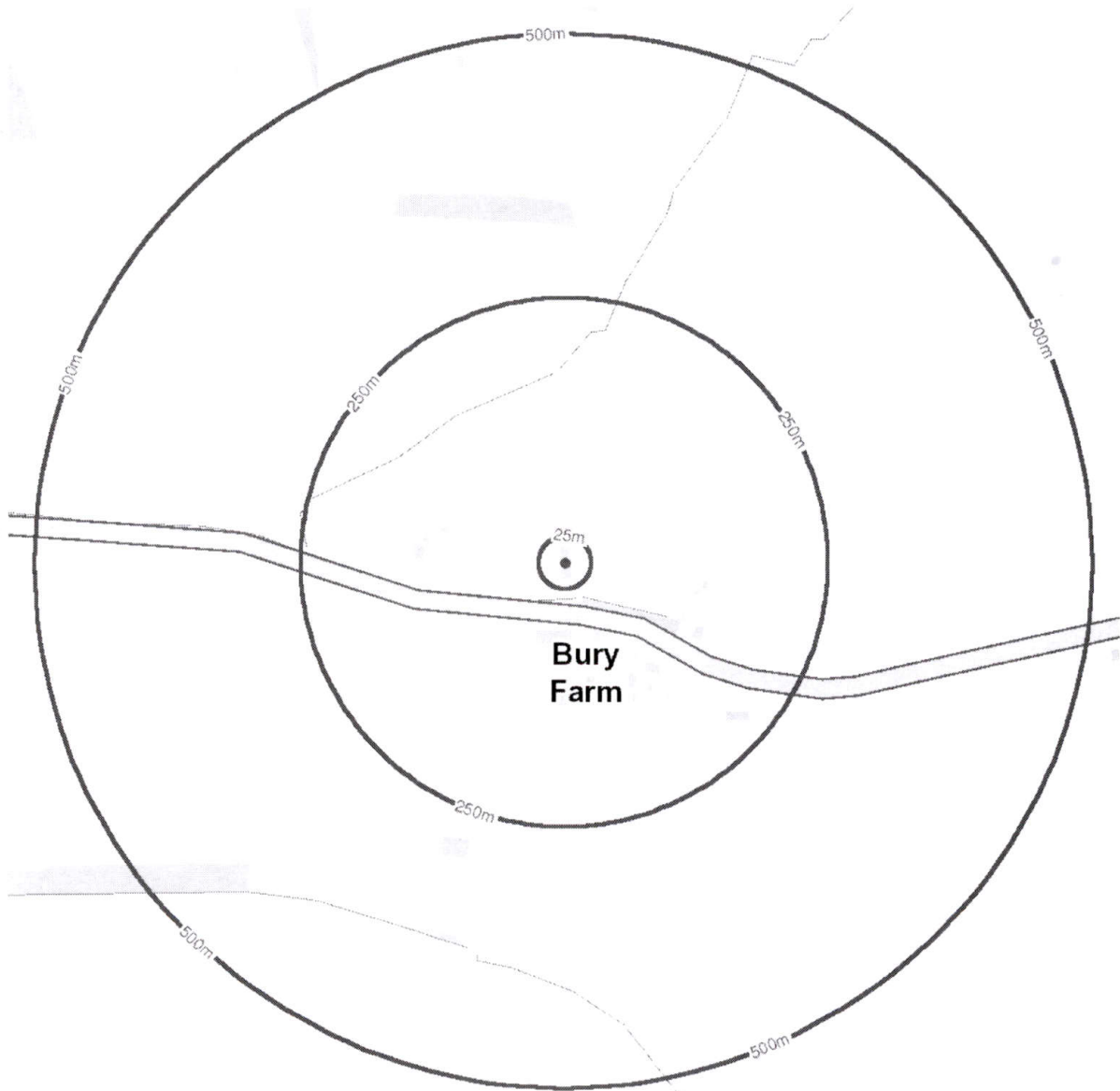
Section 2: Flood Findings

The whole of this section deals with potential sources of flooding that may impact the property.



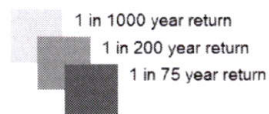
Section 2a and 2b: River and Coastal Flood Map

The map detailed below shows the location of potential river and coastal flood risk. The potential risk has been modelled on the basis of an event occurring on average every 75, 200 or 1000 years.

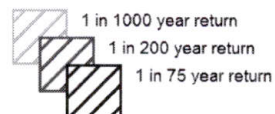


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River Flooding



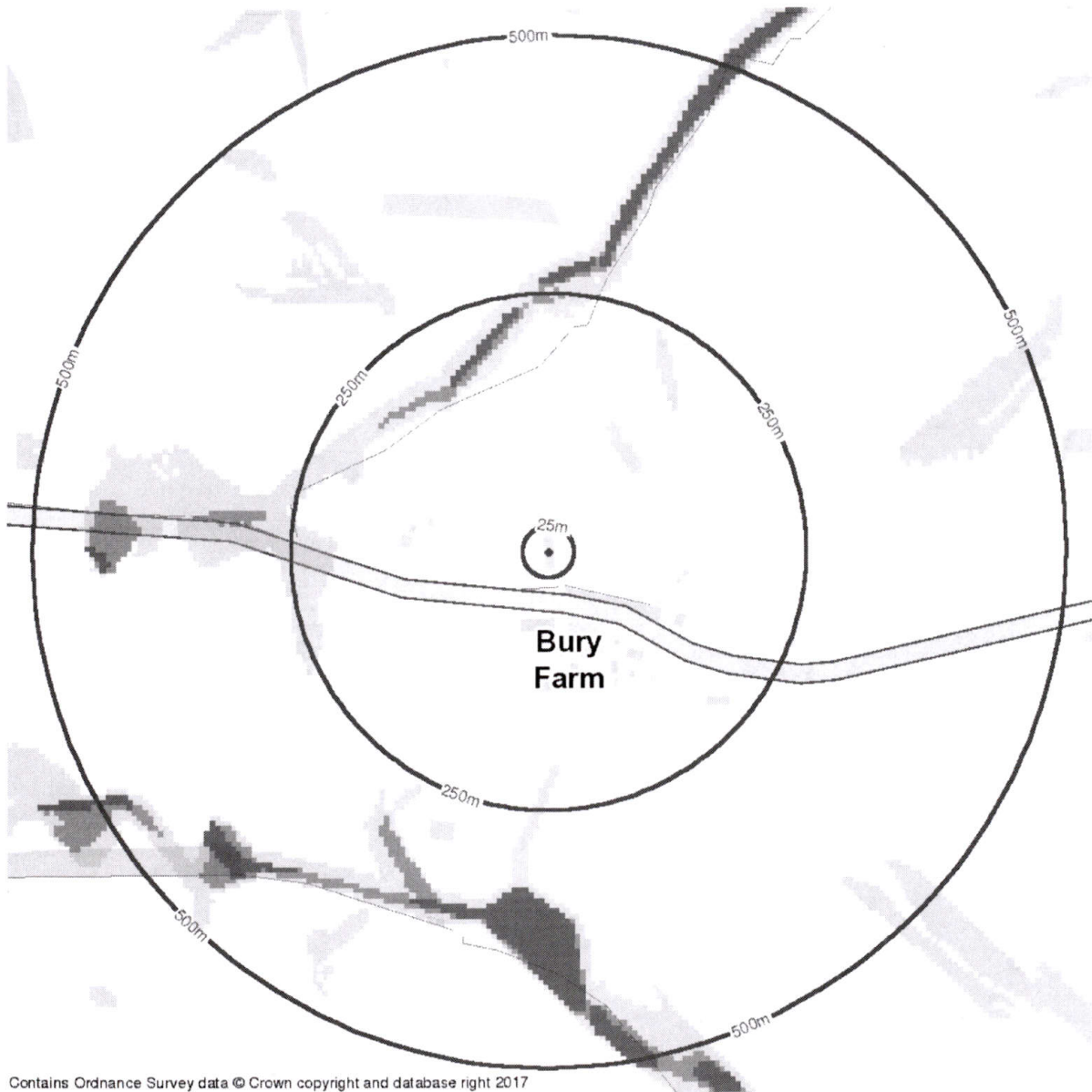
Coastal Flooding





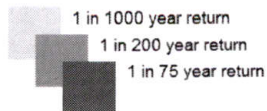
Section 2c: Surface Water Flood Map

The map detailed below shows the location of potential surface water flood risk. The potential risk has been modelled on the basis of an event occurring on average every 75, 200 or 1000 years.



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Surface Water Flooding



Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 13 of 22

Section 2a: River Flooding

River flooding mainly happens when the river catchment (that is the area of land that feeds water into the river and the streams that flow into the main river) receives greater than usual amounts of water (for example through rainfall or melting of snow). The amount of runoff depends on the soil type, catchment steepness, drainage characteristics, agriculture and urbanisation as well as the saturation of the catchment. The extra water causes the level of the water in the river to rise above its banks or retaining structures.

Enquiry	Result	Contact
Is there a potential risk of river flooding within 250m of the property?	No	-

Section 2b: Coastal Flooding

Coastal flooding is the inundation of land areas along the coast caused by sea water rising above normal tidal conditions. Coastal flooding can arise from a combination of high tides, wind induced tidal surge, storm surge created by low pressure and wave action.

Enquiry	Result	Contact
Is there a potential risk of coastal flooding within 250m of the property?	No	-

Section 2c: Surface Water Flooding

Surface water flooding results from rainfall running over ground before entering a watercourse or sewer. It is usually associated with high intensity rainfall events (typically greater than 30mm per hour) but can also occur with lower intensity rainfall or melting snow where the ground is already saturated, frozen, developed (for example in an urban setting) or otherwise has low permeability.

Enquiry	Result	Contact
Is there a potential risk of surface water flooding within 250m of the property?	Yes	-

Next Steps

In order to gain more detailed information on the type and likelihood of your property being impacted by a flood event, and the potential impact on insurance, we recommend that you purchase our Homecheck Professional Flood Report. If you would like more information please contact your Search Provider or our Customer Services Team on **0844 844 9966** or email helpdesk@homecheck.co.uk.

Flood data provided by JBA Risk Management Limited. © Copyright JBA Risk Management Limited 2008-2017



Section 3: Radon Findings

The information within this section tells you whether the property is located in a radon affected area. Radon is a radioactive gas which occurs naturally in rocks and soils. You cannot see, hear, feel or taste it. Exposure to particularly high levels of radon may increase the risk of developing lung cancer, and is therefore something you need to be aware of or should consider.

Enquiry	Result	Contact
Is the property in a radon affected area?	The property is in a lower probability radon area, as less than 1% of homes are above the action level	2
What level of radon protection measures for new dwellings or extensions to existing ones is required for the property?	No radon protective measures are necessary in the construction of new dwellings or extensions	2

Next Steps

The level of radon concentration can only be established by having the building tested. Action should be taken if the indoor radon level is measured and found to be above 200 becquerel's per cubic meter. If you would like any further information we recommend you contact Public Health England whose details can be found in the 'Useful Contacts' section of this report.

Further Action

Airtech Environmental Systems can advise on radon testing kits, which cost £39.36 including VAT and can run from 7 days to 3 months. They also have a team of surveyors on hand to provide recommendations and advice for any properties above the target level of 100 becquerel's per cubic meter or action level of 200 becquerel's per cubic meter. Airtech Environmental Systems can provide a report, recommendations and a quotation for any recommended works. For more detailed information please call their free-phone number 0800 378017.



Section 4: Ground Stability Findings

This section provides summary information on factors that could affect the ground stability of the property. It considers both man-made factors (e.g. mining activity) and natural hazards (e.g. geological stability).

Section 4a: Man-Made Factors

Enquiry	Result	Contact
Is the property within 25m of a Coal Mining Affected Area?	No	-

Section 4b: Natural Factors

Enquiry	Result	Contact
What is the potential for natural ground instability in the area within 50m of the property?	Low	-

Comment: The British Geological Survey has assessed the area of search as having low potential for natural ground instability. This does not necessarily mean there is cause for concern in terms of the property's stability. Active subsidence will be dependent on local conditions, such as the proximity of trees or areas where trees have been removed, which require an inspection of the site to identify the nature of the ground on which the property is built. A house buyers survey is advised to look for signs of property damage that may indicate poor natural ground conditions.



Section 5: Other Influential Factors

The following section provides information on a variety of factors which may have an influence on the property or surrounding area.



Section 5a: Environmental Constraints

Enquiry	Result
Is the property within 250m of an area likely to be impacted by Environmental Constraints?	No

Map ID	Reference	Location	Details	Distance	Contact
--------	-----------	----------	---------	----------	---------

Areas of Outstanding Natural Beauty

No factors identified for this property

Local Nature Reserves

No factors identified for this property

National Nature Reserves

No factors identified for this property

National Parks

No factors identified for this property

Ramsar Sites

No factors identified for this property

Sites of Special Scientific Interest

No factors identified for this property

Special Areas of Conservation

No factors identified for this property

Special Protection Areas

No factors identified for this property

Useful Contacts

Contact 1 - Environment Agency - National Customer Contact Centre (NCCC)

PO Box 544 Templeborough Rotherham S60 1BY	Tel: 03708 506 506	enquiries@environment-agency.gov.uk
---	--------------------	--

Contact 2 - Public Health England - Radon Survey, Centre for Radiation, Chemical and Environmental Hazards

Chilton Didcot Oxfordshire OX11 0RQ	Tel: 01235 822622 Fax: 01235 833891	radon@phe.gov.uk www.ukradon.org
--	--	--

Contact 3 - Chelmsford Borough Council - Environmental Health Department

Coval Lane Chelmsford Essex CM1 1TJ	Tel: 01245 606606 Fax: 01245 606606	Environmental.services@chelmsfordbc.gov.uk www.chelmsfordbc.gov.uk
--	--	--

Contact 4 - Essex County Council

County Hall Chelmsford Essex CM1 1YS	Tel: 01245 492211	www.essexcc.gov.uk
---	-------------------	--

Contact 5 - Uttlesford District Council - Environmental Health Department

Council Offices London Road Saffron Walden Essex CB11 4ER	Tel: 01799 510581 Fax: 01799 510499	www.uttlesford.gov.uk
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Landmark Information Group Limited

Legal and Financial Imperium Reading Berkshire RG2 0TD	Tel: 0844 844 9966 Fax: 0844 844 9980	helpdesk@homecheck.co.uk www.landmarkinfo.co.uk
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The Landmark website contains links to many of our data suppliers which may prove useful.

Please note that the Environment Agency/Natural Resources Wales/SEPA have a charging policy in place for enquiries.

Landmark works in association with:



Report Version: HCP v1.04.5

Homecheck® Report

Dutch Barn,
Pleshey Bury Farm, Bury Road
Pleshey
CM3 1HB

Report Reference 150869566_1_1

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Date 21 December 2017
Page 19 of 22

Useful Information

The following explanatory notes may be of assistance to users of the Homecheck Professional report. Practitioners are reminded that full guidance notes are contained in the Practitioners Guide.

Professional Opinion

A Professional Opinion in relation to Part 2A of the Environmental Protection Act 1990 is provided by Argyll Environmental Consultants. In many cases the report will be PASSED without referral. However, in some cases, entries that may be of concern are revealed by the search, in which case the report is REFERRED free of charge for more detailed consideration, although this will not include a physical site inspection. After such referral the report may be PASSED or suggestions made of some FURTHER ACTION that could be taken, in the form of questions to ask of the appropriate authorities. When responses to these questions are received it is the responsibility of the client and their professional advisors to decide if they are happy to proceed.

Flood Risk

A limited flood risk screening exercise is included in this report designed to satisfy basic flood risk screening due diligence including consideration of river, coastal and surface water flooding. Where a potential flood risk is "Identified" you may wish to consider commissioning a more detailed flood risk screening report. When there is "None Identified" this does not indicate that there is not risk of flooding at the property, but that the risk of flooding from the sources screened (river, coastal and surface water) within the vicinity of the property is such that the risk may not be considered significant.

Location Map

The Ordnance Survey location map may show features which are not necessarily otherwise included in this report. You are advised to supplement the information contained in the report with the descriptive text shown on the map.

Positional Accuracy

We locate data in a variety of ways according to information provided to us and subsequent in-house research. If data is provided as a point on the ground, we provide a "positional accuracy" which tells you how confident we are of the actual location.

Section 1b: Landfill and Waste

At present no complete national data set exists for landfill site boundaries, therefore, a point grid reference, provided by the data supplier, is used for some landfill sites. In certain cases the point grid references supplied provide only an approximate position, and can vary from the site entrance to the centre of the site. Where the exact position of the site is unclear for Registered Landfill data, Landmark construct either a 100 metre or 250 metre "buffer" around the point to warn of the possible presence of landfill. The size of this "buffer" relates to the positional accuracy that can be attributed to the site. The "buffer" is shown on the map as a red hatched area. For further information regarding landfill sites identified in the report, please contact the relevant environment agency or authority referenced in the Useful Contacts section.

The BGS holds records of over 3,000 landfill sites that accepted waste prior to the Control of Pollution Act (COPA) 1974. These were not subject to any strict regulation or monitoring.

Permitted Waste Sites and Environmental Permitting Regulations - Waste cover current or recently current consents issued for landfill sites, waste transfer, treatment or disposal sites by the Environment Agency/Natural Resources Wales, under Section 64 of the Environmental Protection Act 1990 (Part 2) and prescribed by regulation 10 of SI No. 1056 of the Waste Management Licensing Regulations 1994.

Section 1c: Potentially Contaminative Activities

Identified discharge consents could be for storm water discharges, soakaways or septic tanks.

If a radioactive substance licence has been identified the consent band will be given under enquiries and replies. Consents fall into one of four bands: Band 1 and 2 Nuclear licensed sites authorised by the Nuclear Installations Inspectorate e.g. nuclear power stations Band 3 Site registered/authorised to accumulate and dispose of radioactive materials, only non-nuclear operations are carried out on site e.g. hospitals Band 4 Sites registered to keep and use radioactive material e.g. laboratories, universities, commercial premises using appliances such as monitoring equipment, alarm systems, tritium lighting etc.

Data supplied for Explosive Sites, Control of Major Accident Hazards Sites (COMAH) and Notification of Installations Handling Hazardous Substances (NIHHS) contains public sector information published by the Health and Safety Executive and licensed under the Open Government Licence.

Section 1e: Other Potential Contaminative Land Uses

This section relates to categories of potentially contaminative land uses that have been identified by the analysis of selected Ordnance Survey historical mapping. The published date (range of dates) of the map (s) and the distance from the centre of search to the nearest point of the feature is given. Further details of the extent of the site or its activities are not available. Should you wish to examine the Ordnance Survey maps these are normally available for public inspection at the local archive or local major library. Alternatively, extracts of editions of Ordnance Survey maps are available on www.old-maps.co.uk

Potentially infilled land has been identified when a 'cavity' (a hole made by an extractive industry or natural occurrence e.g. pond) was indicated on a historic map but there was no evidence of its existence in the last available map for the area. No details of what may have been used to fill the cavity or exactly when or if it was filled are available from the mapping.

The point locations of historical tanks and energy facilities are identified from the text on Ordnance Survey 1:1250 and 1:2500 scale mapping published between 1943 and 1996, based upon a predetermined list of abbreviations, e.g. El Sub (Electricity Sub-station) and F Stn (Filling Station). The position of the point has been located at the centre of the identified text so that it would be within approximately 30 meters of the feature it was describing. The features themselves are related to energy and petroleum storage and cover the following: tanks, petrol storage, potential tanks (at depots etc.), electricity sub stations and related features, gas and gas monitoring related features, oil related features and miscellaneous power features. NB: It should be noted that the Ordnance Survey abbreviation for tank (tk) is the same as that for tracks. Therefore some of the captured text may relate to tracks and not tanks when the exact nature of the feature is not clear from the mapping.

Section 2: Flood Findings

Sections 2a, b and c of the report provide data on modelled extents of river, coastal and surface water flooding generated by JBA Risk Management, a market leader in flood risk assessment commonly engaged by insurers to assess flood risk. The data has been modelled for several perils or return periods: 1 in 75, 1 in 200 or 1 in 1000 which relate to areas with a 1.3%, 0.5% and 0.1% annual probability of flooding in any one year respectively. Properties at risk of flooding during a 1 in 75 year event are typically considered to be at a high risk of flooding. The data has been generated to provide a UK wide screening tool and as a result may have inherent limitations. In addition, there may be areas of the country which are modelled to varying degrees of accuracy based on currently available topographical information.

Section 3: Radon Findings

Due to the nature of way the information is gathered, your property/site may have more than one probability of radon attributed to it. We report the worst case scenario on the property/site you have provided. This information is an estimate of the probability that a property /site in Great Britain is at or above the "Action Level" for radon (the level at which Public Health England recommends that radon levels should be reduced, those with an average of 200 Bq m⁻³ or more). This information satisfies CON29 Standard Enquiry of Local Authority; 3.13 Radon Gas: Location of the Property in a Radon Affected Area. Where the property/site is a new build, this information provides information on the level of protection required for new buildings under BR211 (Scivyer, 2007) Radon: Guidance on protective measures for new buildings.

Disclaimer: "Some of the responses contained in this section are based on data and information provided by the Natural Environment Research Council (NERC) or its component bodies the British Geological Survey (BGS). Your use of any information contained in this report which is derived from or based upon such data and information is at your own risk. Neither NERC, BGS nor Public Health England where applicable, gives any warranty, condition or representation as to the quality, accuracy or completeness of such information and all liability (including liability for negligence) arising from its use is excluded to the fullest extent permitted by law."

Section 5a: Environmental Constraints

The Local Nature Reserves national dataset is "indicative" not "definitive". Definitive information can only be provided by individual local authorities and you should refer directly to their information for all purposes that require the most up to date and complete dataset.

General

If after reading the details in this report regarding the sites identified, you still require further information, please contact the relevant environment agency or authority indicated in the Useful Contacts section quoting the corresponding reference given in the text of the report.

The contacts in the Useful Contacts section may be able to provide further information relating to items identified in the report, however they are not in a position to advise how these might affect the value of a property. The findings of the report should be discussed with your professional advisor.

The Purpose and Scope of the Report

The report is designed to satisfy the concerns raised by the Law Society warning card and has been prepared to assist conveyancing professionals who may be advising clients when they sell or buy a property, obtain a mortgage, seek further mortgage advice, or commence any building works. It is designed to bring information to their attention and help them decide whether they need to seek any further specialist advice. As the report is so detailed, this information can cause concern, but professional advisors will see that further action is suggested on all issues that have been identified.

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Insurance

Houses registered between 1st April 1999 and 31st December 2002 and covered by the NHBC Buildmark scheme probably have insurance against certain costs if contamination occurs within ten years of their construction. From 1st January 2003, NHBC will only provide this cover if building control has been carried out by NHBC Building Control Services Limited.

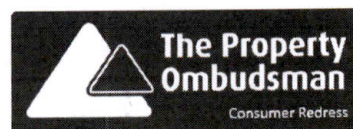
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Search Code

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- sets out minimum standards which firms compiling and selling search reports have to meet
- promotes the best practice and quality standards within the industry for the benefit of consumers and property professionals
- enables consumers and property professionals to have confidence in firms which subscribe to the code, their products and services.

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- conduct business in an honest, fair and professional manner
- handle complaints speedily and fairly
- ensure that products and services comply with industry registration rules and standards and relevant laws
- monitor their compliance with the Code

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If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure. If you remain dissatisfied with the firm's final response after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award up to £5,000 to you if the Ombudsman finds that you have suffered actual financial loss and/or aggravation, distress or inconvenience as a result of your search provider failing to keep to the Code.

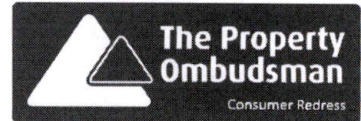
Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs or to the PCCB.

TPOs Contact Details:

The Property Ombudsman Scheme
Milford House
43-55 Milford Street
Salisbury
Wiltshire SP1 2BP Tel:
01722 333306
Fax: 01722 332296
Web site: www.tpos.co.uk
Email: admin@tpos.co.uk

You can get more information about the PCCB from www.propertycodes.org.uk

PLEASE ASK YOUR SEARCH PROVIDER IF YOU WOULD LIKE A COPY OF THE SEARCH CODE



Search Code

COMPLAINTS PROCEDURE

If you want to make a complaint, we will:

- Acknowledge it within 5 working days of its receipt.
- Normally deal with it fully and provide a final response, in writing, within 20 working days of receipt.
- Keep you informed by letter, telephone or e-mail, as you prefer, if we need more time.
- Provide a final response, in writing, at the latest within 40 working days of receipt. - Liaise, at your request, with anyone acting formally on your behalf.

Complaints should be sent to:

Head of Customer Relations
Landmark Information Group Ltd
Landmark UK Property
Imperium
Imperial Way
Reading
RG2 0TYD

Telephone: 0844 844 9966

E-mail: helpdesk@landmark.co.uk

Fax: 0844 844 9980

If you are not satisfied with our final response, or if we exceed the response timescales, you may refer the complaint to The Property Ombudsman Scheme (TPOs): Tel: 01722 333306, E-mail: admin@tpos.co.uk.

We will co-operate fully with the Ombudsman during an investigation and comply with his final decision.